



## EXHIBITS

<b>Project Name:</b> New Sartori Elementary School		<b>Project Number:</b> LUA16-000692, PPUD, CUP-H	
<b>Date of Hearing</b> November 8, 2016	<b>Staff Contact</b> Matthew Herrera, Senior Planner	<b>Project Contact/Applicant</b> Lisa Klein, AHBL, 2215 N. 30 <sup>th</sup> St., #300, Tacoma, WA 98043	<b>Project Location</b> 315 Garden Ave N.




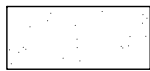
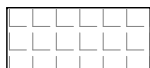
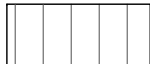







**The following exhibits were entered into the record:**

- Exhibit 1: HEX Report, dated November 1, 2016
- Exhibit 2: Site Plan
- Exhibit 3: Landscape Plan
- Exhibit 4: Neighborhood Detail Map
- Exhibit 5: Notice of SEPA Consultation Prepared by Renton School District
- Exhibit 6: City SEPA Comment Letter to District
- Exhibit 7: Mitigated Determination of Non-Significance issued by the Renton School District
- Exhibit 8: Elevations
- Exhibit 9: Tree Retention Plan
- Exhibit 10: Stormwater Technical Information Report (TIR) prepared by AHBL, dated August 2016
- Exhibit 11: Transportation Report prepared by Heffron Transportation, dated August 26, 2016
- Exhibit 12: Arborist Report prepared by Washington Forestry Consultants, dated August 23, 2016
- Exhibit 13: Geotechnical Report prepared by Associated Earth Sciences Incorporated, dated August 4, 2016.
- Exhibit 14: Email Comments from Angie Laulainen
- Exhibit 15: City Staff Response to Angie Laulainen
- Exhibit 16: Carbon Copy Email Comments
- Exhibit 17: Tree Retention Worksheet Completed by Applicant
- Exhibit 18: Screening Details (Garbage Enclosure)
- Exhibit 19: Concurrency Memo Prepared by Brianne Bannworth Development Engineering Manager, dated October 31, 2016
- Exhibit 20: Civil Grading and Drainage Plan
- Exhibit 21: Civil Utility and Surfacing Plan
- Exhibit 22: Boundary and Topographic Survey
- Exhibit 23: Floor Plans
- Exhibit 24: Perspective Views (Architectural Renderings)
- Exhibit 25: Advisory Notes to Applicant
- Exhibit 26: Affidavit of Posting and Mailing
- Exhibit 27: Revised Architectural Renderings





STATE OF WASHINGTON  
LICENSED  
LANDSCAPE ARCHITECT  
NICHOLAS PAUL HAGAN  
CERTIFICATE NO. 753

	PEDESTRIAN WALKWAYS
	FIRE ACCESS
	LANDSCAPE AREAS
	GRASS
	SOFT SURFACE PLAY AREAS
	CONCRETE SIDEWALK
	SITE / BUILDING ACCESS AND TRAFFIC FLOW
	QUEUING LOCATIONS
	6' HT CHAIN LINK FENCE
	DEDICATION LINE
	EXISTING PROPERTY LINE
	STREET CENTERLINE
	EXISTING TREES TO BE SAVED AND PROTECTED

Date:	8/29/2016	
Job No.:	21607.00	
Drawn By:	NL	
Checked by:	NH	
Revisions		
#	Date	Description

## Site Plan

**WEISMANDESIGNGROUP**

LANDSCAPE  
ARCHITECTURE

2323 F MADISON ST  
SEATTLE WA 98112

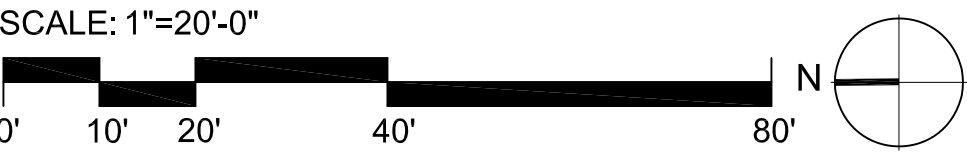
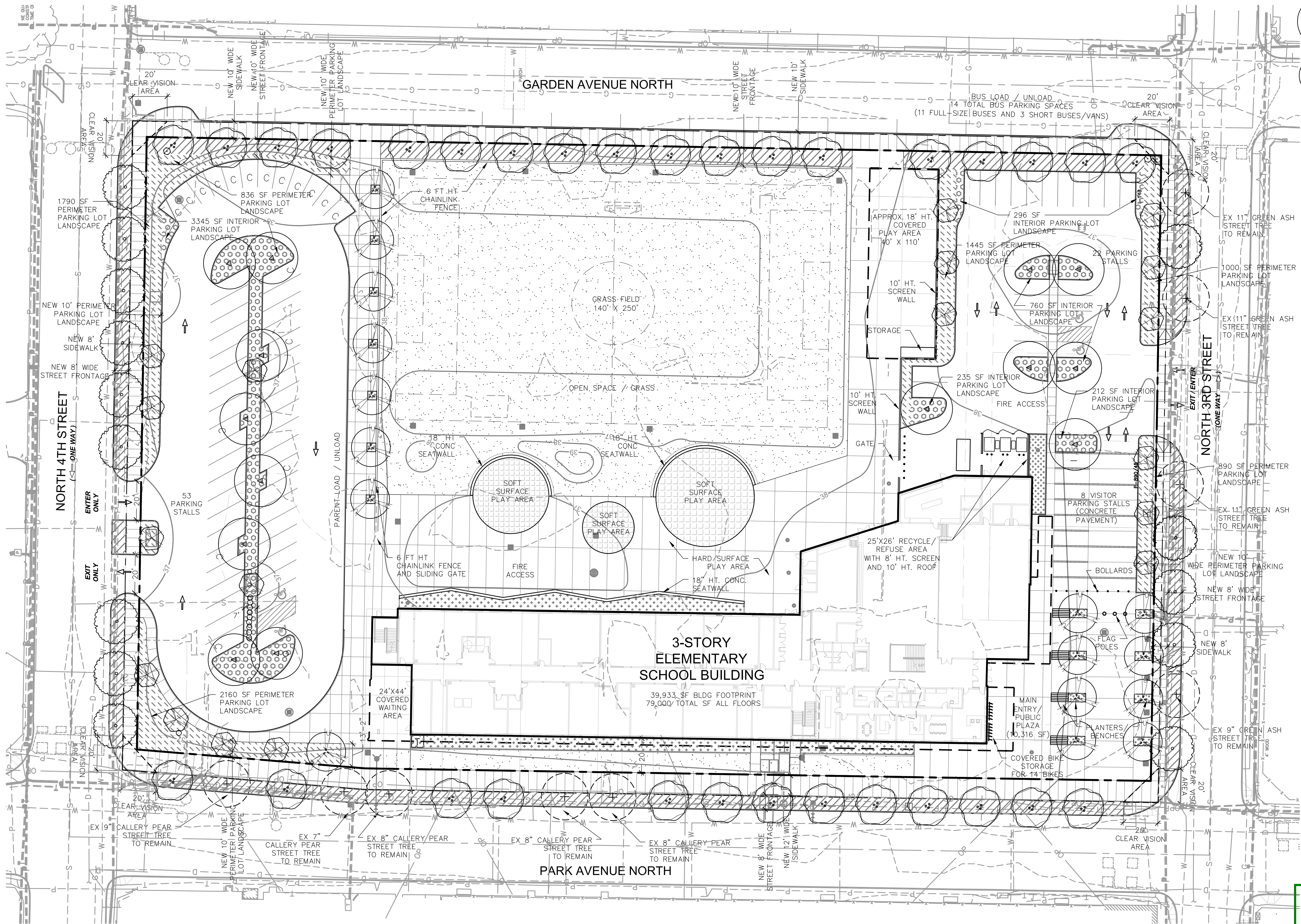
206-222-4732  
[WWW.WDGINC.COM](http://WWW.WDGINC.COM)

315 Garden Avenue N, Renton WA 98057

integrus  
ARCHITECTURE

118 SOUTH TWIN C STREET R. SUIPO K0A, NSEATTLEA. WA 9 280104  
TELEPHONE: (200) 828-8887 FAX: (200) 628-2198





LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME
	STREET TREES - MIN. 2" CAL.
	TILIA CORDATA 'GREENSPIRE' LINDEN
	CARPINUS BETULUS 'FASTIGIATA' PYRAMIDAL EUROPEAN HORNBEM
	GINKGO BILOBA 'AUTUMN GOLD' MAIDENHAIR TREE
	PYRUS CALERYANA 'AUTUMN BLAZE' AUTUMN BLAZE PEAR
	SYRAX OBASSIA FRAGRANT SNOWBELL
	DECIDUOUS TREES - MIN. 7' HT. WITH 3-4 TRUNKS
	AMELANCHIER X 'AUTUMN BRILLIANCE' SERVICEBERRY
	SHRUBS - MIN. 2 GAL. CONTAINER
	EVERGREEN - MIN. 50% OF SHRUBS
	MAHONIA AQUIFOLIUM TALL OREGON GRAPE
	MYRICA CALIFORNICA PACIFIC WAX MYRTLE
	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY
	ARBUTUS UNEDO 'COMPACTA' DWARF STRAWBERRY TREE
	LONICERA PILEATA PRIVET HONEYSUCKLE
	DECIDUOUS - MAX. 50% OF SHRUBS
	CORNUS SERICEA 'KELSEY' KELSEY DOGWOOD
	SYMPHORICARPOS ALBUS COMMON SNOWBERRY
	SPIRAEA BETULIFOLIA 'TOR' SPIRAEA
	RIBES SANGUINEUM RED FLOWERING CURRANT
	GROUNDCOVERS - MIN. 4" POTS
	MAHONIA REPENS CREEPING MAHONIA
	MAHONIA NERVOSA LOW OREGON MAHONIA
	GAULTHERIA SHALLON SALAL
	POLYSTICHUM MUNITUM SWORD FERN
	BLECHNUM SPICANT DEER FERN
	ARCHTOSTAPHYLOS UVA-URSI KINNIKINNICK
	FRAGARIA CHILOENSIS BEACH STRAWBERRY
	SEEDED LAWN
	EXISTING TREES TO BE SAVED AND PROTECTED

LEGEND

	PEDESTRIAN WALKWAYS
	STREET FRONTAGE LANDSCAPE AREAS
	PARKING LOT PERIMETER LANDSCAPE AREAS
	PARKING LOT INTERIOR LANDSCAPE AREAS
	OTHER LANDSCAPE AREAS (TREES, SHRUBS, GROUNDCOVER)
	SOFT SURFACE PLAY AREAS
	SEWER FEATURE
	STORM WATER FEATURES
	FIRE HYDRANT
	DEDICATION LINE

integrus  
ARCHITECTURE

WEISMANDESIGNGROUP

LANDSCAPE ARCHITECTURE  
2325 E MADISON ST  
SUITE 100  
TACOMA, WA 98152  
206.522.1751  
WWW.WDSG.COM

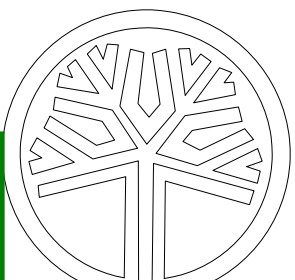
Renton School District  
Sartori Elementary School

315 Garden Avenue N, Renton WA 98057

Date:	8/29/2016	
Job No.:	21607.00	
Drawn By:	NL	
Checked by:	NH	
Revisions		
#	Date	Description

Landscape Plan

Exhibit 3



STATE OF WASHINGTON  
LICENSED LANDSCAPE ARCHITECT  
NICHOLAS PAUL MAGAN  
CERTIFICATE NO. 753

PUD Submittal

LANDSCAPE PLAN

L-201









**FACILITIES, OPERATIONS AND MAINTENANCE CENTER  
CAPITAL PROJECTS OFFICE  
7812 S 124<sup>th</sup> Street, Seattle, WA 98178-4830  
425-204-4403, Fax 425-204-4476**

### **NOTICE OF SEPA CONSULTATION**

The Renton School District has issued a SEPA Checklist and associated documents for comment prior to issuing a threshold determination for the construction of Sartori Elementary School.

**Project Name:** Sartori Elementary School  
**Name of Applicant:** Renton School District No. 403, Facilities Department  
**Notice of SEPA Consultation Posted:** August 24, 2016

**Site Location:** The school will be located at 315 Garden Ave N, Renton, WA. It is comprised of tax parcel numbers: 756460-0170, -0180, -0181, -0182, -0183, -0184, and 722400-0620, -0615, -0610, -0600, -0590, -0580, -0595, -0605. It is located in Section 017 Township 23 Range 5E

#### **Project Description:**

The new Sartori Elementary School (SES) will be located on the site of Renton School District's Sartori Education Center (SEC) at 315 Garden Ave N in Renton, Washington. The site is a full block bounded by Park Ave N to the west, Garden Ave N to the east, N 4th St to the north, and N 3rd St to the south. The new school is being developed as a choice school to house a specialized program and is anticipated to serve a maximum of 650 students from kindergarten to 5th grade. The school will be the first elementary school in Renton School District that is in close proximity to the downtown core and is being developed as a civic and community asset to the city center where it is located. The choice program will have a neighborhood boundary and also draw students from the whole school district. The new three story building will be approximately 76,000 square feet in size and located fronting the western/Park Avenue side of the block. In addition to classrooms, the school will contain a gymnasium and library. The grounds will include a hardscape play area, play equipment on soft surface, and a grass play field that are designed for shared use with the community. A public plaza is located at the main entry at the corner of Park Ave N and N 3rd St. A total of approximately 80 vehicle parking spaces will be provided in three parking areas. One parking lot is accessed off N 4th St and also allows for convenient parent drop-off/pick-up. Two visitor parking areas are accessed from N 3rd St. School buses will park along the west side of Garden Ave N for loading and unloading.

#### **Requested Approvals:**

City of Renton Permits/Approvals: Preliminary and Final Planned Unit Development; Conditional Use Permit; Site Plan Review; Clearing, Grading & Site Development Permit; Building Permit; Fire System Permit; Electrical Permit  
Other Agency Permits/Approvals: SEPA determination by the Renton School District; National Pollutant Discharge Elimination System (NPDES) by the Washington State Department of Ecology

**Identification of Existing Environmental Documents:** The Construction Stormwater General Notice of Intent was published in the Seattle Times on April 25, 2016 and May 2, 2016; PBS Engineering and Environmental is preparing the necessary environmental documentation that is required for the site demolition permits; Geotechnical Report prepared by Associated Earth Sciences, August, 2016; Arborist Report prepared by Washington Forestry Consultants August 2016; Survey, prepared by AHBL, Inc. February 24, 2016; Tree Retention Worksheet and Plan prepared by Weisman Associates August 2016; Transportation Technical Report prepared by Heffron Transportation, Inc. August 2016; Drainage Report prepared by AHBL August 2016; Light Spill Analysis to be prepared.

Copies of the documents pertaining to this SEPA consultation are available for review during regular business hours at the Renton School District Facilities Department at the address listed below.

**School District Contact:** Rick Stracke, Executive Director of Facilities, Maintenance, Operations, Safety, and Security  
Designated SEPA Responsible Official  
Renton School District  
7812 South 124th Street  
Seattle, WA 98178-4830

Please submit your written comments by 5:00 pm, September 23, 2016 to Rick Stracke at the address above.



*Launching Learning to Last a Lifetime*

7812 S 124<sup>th</sup> Street, Seattle Washington 98178 | p.425.204.4403 | f.425.204.4476  
[www.rentonschools.us](http://www.rentonschools.us)

**Exhibit 5**





September 30, 2016

Community & Economic Development C. E. "Chip" Vincent, Administrator

Rick Stracke, Executive Director of Facilities, Maintenance, Operations, Safety, and Security  
Designated SEPA Responsible Official  
Renton School District  
7812 South 124th Street  
Seattle, WA 98178-4830  
VIA Email: [richard.stracke@rentonschools.us](mailto:richard.stracke@rentonschools.us)

**SUBJECT: SEPA Comments for Sartori School**

Dear Mr. Stracke,

Thank you for the opportunity to review and comment on the State Environmental Policy Act (SEPA) Checklist for the proposed Sartori Elementary School project. The Renton School District is acting as the Lead Agency for the SEPA process as allowed per WAC 197-11-050. City of Renton will be processing the land use permits necessary for the proposal.

We have reviewed the Final SEPA Checklist and offer the following comments:

**Project Description.** The description of the proposal in the final SEPA Checklist indicates the proposed school building as 76,000 square feet (sf), while the land use application submitted to City of Renton identifies the building as 79,000 sf.

**Critical Areas.** The City's COR mapping database shows the subject property is within a High Seismic area. We request that this Critical Area be noted in the SEPA Checklist.

**Transportation/Pedestrian Safety.** The proposal will result in an increase in pedestrians in the vicinity of the school. Therefore, the City requests mitigation for potential impacts to pedestrians and to increase pedestrian safety. Further, we request that the mitigation measures listed below be included in the SEPA Threshold Determination and be subject to City of Renton review and approval prior to issuance of a Certificate of Occupancy.

- Installation of school flasher speed limit signage. The location of the signage would be determined during the City's Construction/Utility Permit review process.
- Installation of radar sign(s) that provide vehicle speed. The location of the signage would be determined during the City's Construction/Utility Permit review process.
- Installation of curb bulbs on Garden Ave N. at N. 3<sup>rd</sup> St. and N. 4<sup>th</sup> St. to reduce pedestrian crossing width.
- Preparation of a plan to be distributed to students and families that identifies safe walking routes to school and crossing guard locations.

**Transportation/Off-Site Impacts.** The proposal would potentially result in vehicle queuing onto North 4<sup>th</sup> Street at the beginning and end of the school day. In addition, off-site parking impacts to the

Exhibit 6



surrounding neighborhood may occur during special school events. The City requests the following mitigation measures to address these concerns. The mitigation measures listed below should be subject to the review and approval of the City of Renton prior to the issuance of the Certificate of Occupancy.

- Preparation of an operational plan that provides preventive measures for offsite queuing onto N. 4<sup>th</sup> Street during pick-up and drop-off.
- Preparation of a parking plan for special events that may require more parking than is available onsite.

If you have any questions regarding the City's comments, please contact me at [jhenning@rentonwa.gov](mailto:jhenning@rentonwa.gov) or Matt Herrera, Senior Planner, at [mherrera@rentonwa.gov](mailto:mherrera@rentonwa.gov).

Sincerely,

A handwritten signature in blue ink, reading "Jennifer T. Henning".

Jennifer T. Henning, AICP  
Planning Director

Cc: C.E. 'Chip' Vincent, CED Administrator  
Gregg Zimmerman, Public Works Administrator  
Vanessa Dolbee, Current Planning Manager  
Matt Herrera, Senior Planner  
Ian Fitz-James, Development Engineer  
Brienne Bannwarth, Development Engineering Manager  
Jim Seitz, Transportation Director





**FACILITIES, OPERATIONS AND MAINTENANCE CENTER  
CAPITAL PROJECTS OFFICE**

**7812 S 124<sup>th</sup> Street, Seattle, WA 98178-4830  
425-204-4403, Fax 425-204-4476**

**MITIGATED DETERMINATION OF NONSIGNIFICANCE**

**Sartori Elementary School**

**DESCRIPTION OF PROPOSAL**

The new Sartori Elementary School will be located on the site of Renton School District's Sartori Education Center at 315 Garden Ave N in Renton, Washington. The site is a full block bounded by Park Ave N to the west, Garden Ave N to the east, N 4th St to the north, and N 3rd St to the south. The new school is being developed as a choice school to house a specialized program and is anticipated to serve a maximum of 650 students from kindergarten to 5th grade. The school will be the first elementary school in Renton School District that is in close proximity to the downtown core and is being developed as a civic and community asset to the city center where it is located. The choice program will have a neighborhood boundary and also draw students from the entire school district. The new three-story building will be approximately 79,000 square feet in size and located fronting the western/Park Avenue side of the block. In addition to classrooms, the school will contain a gymnasium and library. The grounds will include a hardscape play area, play equipment on soft surface, and a grass play field that are designed for shared use with the community. A public plaza is located at the main entry at the corner of Park Ave N and N 3rd St. A total of approximately 83 vehicle parking spaces will be provided in three parking areas. One parking lot is accessed off N 4th St and also allows for convenient parent drop-off/pick-up. Two visitor parking areas are accessed from N 3rd St. School buses will park along the west side of Garden Ave N for loading and unloading.

**Proponent and Lead Agency:** Renton School District No. 403  
Facilities, Maintenance, and Operations Capital Projects Office

**Location of Proposal:** The school will be located at 315 Garden Ave N, Renton, Washington. It comprises Tax Parcel Nos. 756460-0170, -0180, -0181, -0182, -0183, and -0184, and 722400-0620, -0615, -0610, -0600, -0590, -0580, -0595, and -0605. It is located in Section 017, Township 23, Range 5E.

**Responsible Official:** Rick Stracke, Executive Director of Facilities Planning  
Designated SEPA Responsible Official  
Renton School District No. 403  
7812 South 124th Street  
Seattle, WA 98178-4830  
[richard.stracke@rentonschools.us](mailto:richard.stracke@rentonschools.us)



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NORTH 3RD STREET (SOUTH) ELEVATION  
1/16" = 1' - 0"

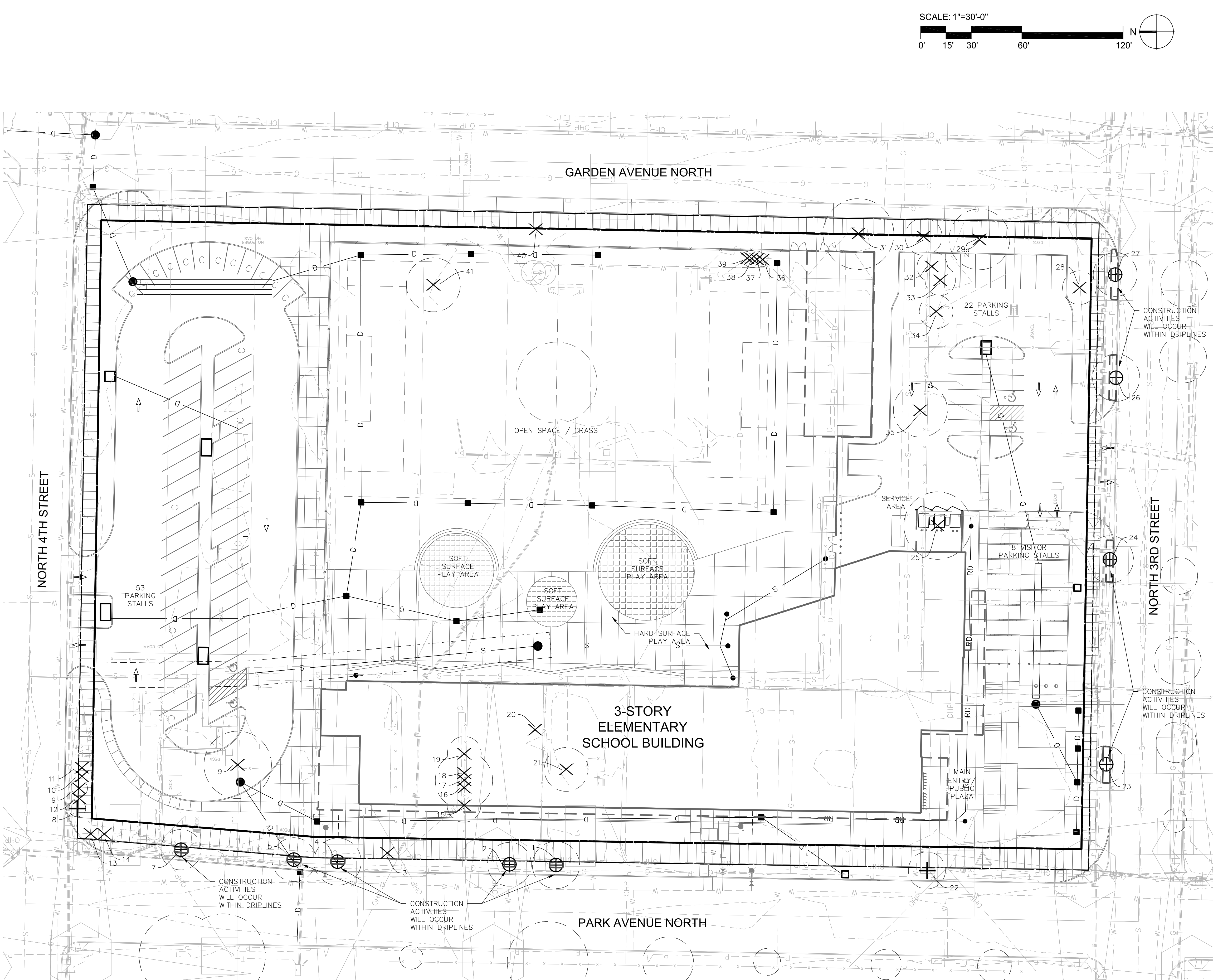


NORTH 4TH STREET (NORTH) ELEVATION  
1/16" = 1' - 0"

  
Entire Document  
Available Upon  
Request

Exhibit 8





TREE RETENTION NOTES:

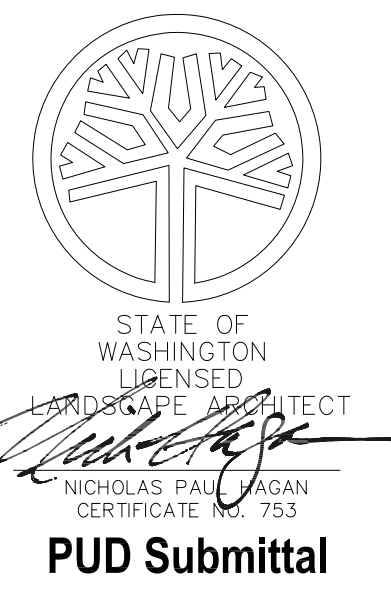
1. THE TREE RETENTION / INVENTORY PLAN IS BASED ON THE ARBORIST REPORT PREPARED BY WASHINGTON FORESTRY CONSULTANTS, INC., DATED JULY 28, 2016.
2. PER THE ARBORIST'S REPORT, (41) EXISTING SIGNIFICANT TREES WITHIN THE PROJECT LIMITS INCLUDE:  
  
0 LANDMARK TREES  
11 SIGNIFICANT TREES WITHIN THE ROW  
30 SIGNIFICANT TREES ON-SITE
3. SEE ARBORIST'S EXISTING TREE INVENTORY AND ASSESSMENT TABLE.
4. ALL TREE RETENTION, PROTECTION AND CLEARING ACTIVITIES SHALL BE IN ACCORDANCE WITH RENTON MUNICIPAL CODE (RMC) 4-4-130 TREE RETENTION AND LAND CLEARING REGULATIONS.

LEGEND

SYMBOL	QTY	DESCRIPTION
	9	R.O.W. SIGNIFICANT TREE TO BE RETAINED
	6	R.O.W. SIGNIFICANT TREE TO BE REMOVED
	26	ON-SITE SIGNIFICANT TREE TO BE REMOVED
		TREE PROTECTION FENCE
		DRIP LINE PER SURVEY BY AHB, DATED FEB. 2016
		PROPERTY BOUNDARY

A TREE RETENTION / INVENTORY PLAN

Exhibit 9







## ***Technical Information Report***

### *PREPARED FOR:*

Integrus Architecture  
117 South Main Street, Suite 100  
Seattle, WA 98104-3496

### *PROJECT:*

New Sartori Elementary School  
315 Garden Avenue North  
Renton, WA 98057  
Project No. 2160339.10

### *PREPARED BY:*

Greg Tauscheck, PE  
Project Engineer

### *REVIEWED BY:*

William J. Fierst, PE  
Project Manager

Sean M. Comfort, PE  
Principal

### *DATE:*

August 2016



**Entire Document  
Available Upon  
Request**

**Exhibit  
10**



*DRAFT*

# TRANSPORTATION TECHNICAL REPORT

for

## **Sartori Elementary School**

PREPARED FOR:

Renton School District

PREPARED BY:

**heffron**  
**transportation, inc.**  
6544 NE 61st Street, Seattle WA 98115  
ph: (206) 523-3939 • fx: (206) 523-4949

August 26, 2016

  
**Entire Document  
Available Upon  
Request**

**Exhibit  
11**



# WASHINGTON FORESTRY CONSULTANTS, INC.

FORESTRY AND VEGETATION MANAGEMENT SPECIALISTS



W F C I

360/943-1723  
FAX 360/943-4128

1919 Yelm Hwy SE, Suite C  
Olympia, WA 98501

August 23, 2016

Lisa Klein  
AHBL, Inc.  
2215 North 30th Street, Suite 300  
Tacoma, WA 98403

RE: Arborist's Report – Sartori Elementary School – Renton, WA

Dear Ms. Klein:

The Renton School District is planning to construct the new Sartori Elementary School at the site of the old Sartori Education Center at North 3<sup>rd</sup> Street and Park Ave. North in Renton, WA.

Washington Forestry Consultants, Inc. was asked to inspect all of the trees on the site to determine their condition and potential to be saved in the new project. The inspection included all mapped trees that are 6 inches DBH and larger. A Level 2 inspection was completed on July 21, 2016.

At the time of the site visit some demolition had occurred, but all trees had been retained.

## Findings

I found 41 trees of 17 species. The trees ranged from 4 to 28 inches in DBH (DBH=diameter measured 4.5 ft. above the groundline). They included 10 street trees of which 6 (Callery pear) were in grates along Park Ave. North, and 4 (Green ash) were in a curblawn zone along North 3<sup>rd</sup> Street.

The street and landscape area trees health ranged from 'Poor' to 'Very Good'. Only 4 trees were classified 'Poor' and would not be good long-term trees if protected (the 5<sup>th</sup> Poor rated tree was a street tree). The table below provides a summary of the tree inventory.

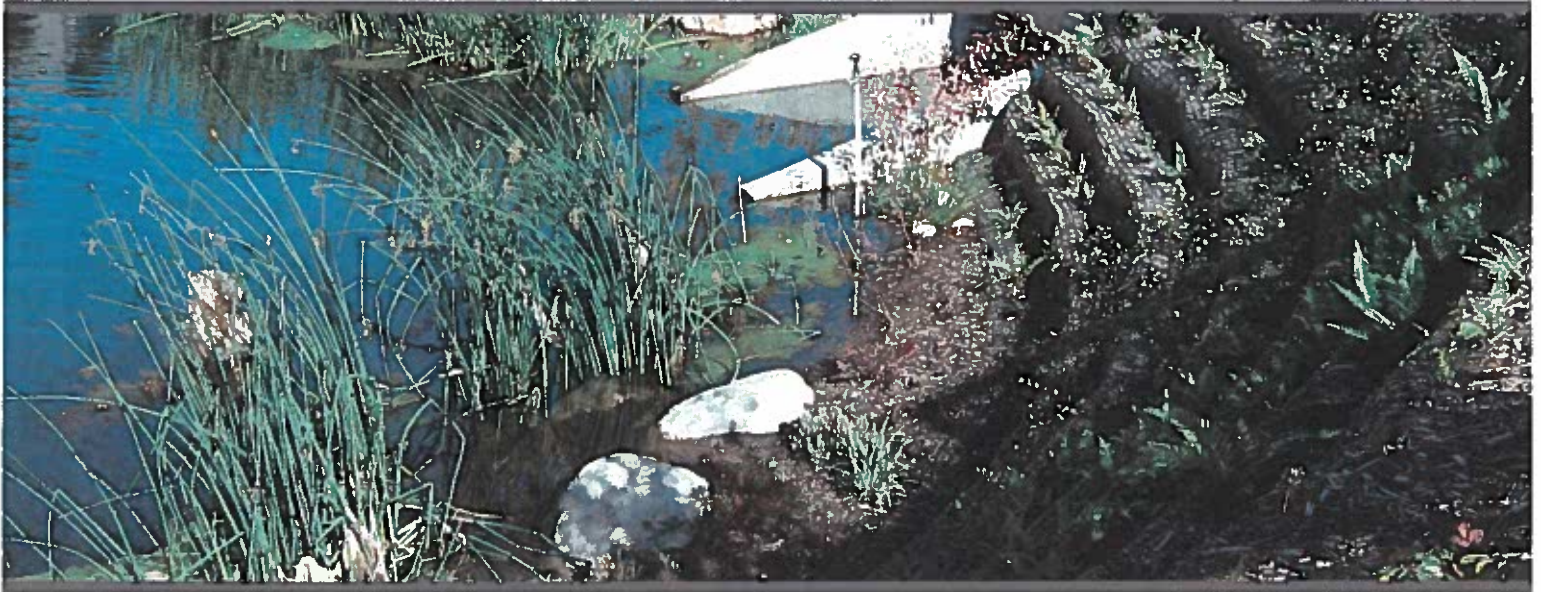
A complete list of trees is provided in Attachment #4 and maps of tree locations are provided in Attachments 2 and 3.







a s s o c i a t e d  
e a r t h   s c i e n c e s  
i n c o r p o r a t e d



*Subsurface Exploration, Geologic Hazard,  
and Geotechnical Engineering Report*

**SARTORI EDUCATION CENTER**

Renton, Washington

Prepared For:

**RENTON SCHOOL DISTRICT**

Project No. KE150719A

August 4, 2016



**Entire Document  
Available Upon  
Request**

**Exhibit  
13**



Associated Earth Sciences, Inc.  
911 5th Avenue  
Kirkland, WA 98033  
P (425) 827 7701  
F (425) 827 5424



## Matthew Herrera

---

**From:** Enkeli <enkeli\_l@yahoo.com>  
**Sent:** Thursday, September 15, 2016 9:36 PM  
**To:** Matthew Herrera  
**Subject:** Fw: Official Comments for SEPA Review of Sartori Elementary School  
**Attachments:** Comments SEPA Final.pdf

Mr. Herrera,

Thank you for coming to the Neighborhood meeting tonight and helping us to try and understand the process better. Attached are my first comments to the school district for the SEPA review. The notice that we received for the SEPA review tell us to direct comments to a physical address for Rick Stracke. Earlier emails I sent to Mr. Stracke were bouncing back, so I complained and now they seem to be getting through to him. I will forward another message following this one.

Thank you,  
Angie Laulainen

----- Forwarded Message -----

**From:** Enkeli <[enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)>  
**To:** Richard (Rick) Stracke <[richard.stracke@rentonschools.us](mailto:richard.stracke@rentonschools.us)>  
**Cc:** Matthew Feldmeyer <[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)>; "[north.renton@gmail.com](mailto:north.renton@gmail.com)" <[north.renton@gmail.com](mailto:north.renton@gmail.com)>; "[geosaldaniel@wwdb.org](mailto:geosaldaniel@wwdb.org)" <[geosaldaniel@wwdb.org](mailto:geosaldaniel@wwdb.org)>; Diane Dobson <[dmd821@aol.com](mailto:dmd821@aol.com)>; "[iklein@ahbl.com](mailto:iklein@ahbl.com)" <[iklein@ahbl.com](mailto:iklein@ahbl.com)>; Randy Matheson <[randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us)>; Nancy Monahan <[monahan55@hotmail.com](mailto:monahan55@hotmail.com)>; Jennifer T. Henning <[jhenning@rentonwa.gov](mailto:jhenning@rentonwa.gov)>; Rocale Timmons <[rtimmons@rentonwa.gov](mailto:rtimmons@rentonwa.gov)>; "[gloria.hodge@rentonschools.us](mailto:gloria.hodge@rentonschools.us)" <[gloria.hodge@rentonschools.us](mailto:gloria.hodge@rentonschools.us)>; Al Talley <[al.talley@rentonschools.us](mailto:al.talley@rentonschools.us)>; Todd Franceschina <[todd.franceschina@rentonschools.us](mailto:todd.franceschina@rentonschools.us)>; Lynn Desmarais <[lynn.desmarais@rentonschools.us](mailto:lynn.desmarais@rentonschools.us)>; Pam Teal <[pam.teal@rentonschools.us](mailto:pam.teal@rentonschools.us)>; "[Arthur.Jarvis@rentonschools.us](mailto:Arthur.Jarvis@rentonschools.us)" <[Arthur.Jarvis@rentonschools.us](mailto:Arthur.Jarvis@rentonschools.us)>; Gregg Zimmerman <[gzimmerman@rentonwa.gov](mailto:gzimmerman@rentonwa.gov)>  
**Sent:** Sunday, September 11, 2016 1:59 PM  
**Subject:** Official Comments for SEPA Review of Sartori Elementary School

Mr. Stracke,

I am sending in the attached PDF file official comments for the SEPA Review of Sartori Elementary School. Please acknowledge receipt of these comments as you are the designated school district contact for the SEPA consultation. It would be helpful if you can inform me if any changes are made to these items. Thank you.

Sincerely,

Angie Laulainen

Exhibit  
14



September 11, 2016

Mr. Stracke,

I am submitting the following comments for the current SEPA Review for the construction of Sartori Elementary School. For your convenience, I have listed them in the same order as the categories appear in the SEPA checklist. They are all related to section B, environmental impacts.

Thank you,  
Angie Laulainen

## Section B ENVIRONMENTAL IMPACTS

### 1. EARTH

#### d. & f. Regarding soil stability and erosion -

The SEPA checklist states there is "*no history of instability in the area*". There is history of instability on Garden AVE N. at the south end of the street. There was a sink hole which opened on the east side of the street and went under the pavement under the street to the west side of the street and reappeared several years later. The City filled the hole each time, but there is currently a visible dip in the pavement all across the road where this is located as well as fissures in the road which is across the road in front of 310 Garden AVE N. It was believed this originally was caused by water left underground after a break in the Seattle water main which happened about 15 years ago. This main runs north/south under Garden AVE.

There is also a history of instability in the soil in neighborhood yards. The soil which was previously part of Lake Washington and the Black River, is constantly shifting. During the Sartori Grant project, the North Renton Neighborhood Association (NRNA) added soil in order to raise the beds along the south fence of the Sartori school front field by about a foot before planting trees. So much soil had eroded or shifted away that the base of the fence posts were showing. NRNA distributed two truck loads of soil, 30 yards of top soil, in front of the fence on the south end of the front of the school, as well as 150 bags of mulch because so much soil had eroded away.

I suggest that additional measures be taken to determine the stability of the soil on the site, as well as at the sink hole site where construction vehicles and school buses will be driving regularly, and action be taken as needed.

### 6. ENERGY AND NATURAL RESOURCES

#### a. Regarding kinds of energy used at the school



The SEPA Checklist states that the school will “utilize electric power and natural gas” energy. There is no mention of solar panels. I recommend that solar panels, as well as other green energy and conservation methods be included in the design of the school.

c. Regarding types of energy conservation features

The SEPA Checklist states that the school will use “*high-efficiency heat pump system with heat recovery, LED lighting with occupancy and daylighting controls, high-performance building envelope system, low-e glazing, and inclusion of weather vestibules at main entries*”. I am unsure if these are similar to the features that were included when Secondary Learning Center (SLC) was built but would like to see similar sustainable features included in Sartori Elementary as were included in Secondary Learning Center. I read in a Renton Reporter article, dated 4/24/2012 written by Tracy Compton, that at Secondary Learning Center “*The building has meters and lights that alert occupants to the current state of efficiency in electricity, water and gas use. The building has solar panels, lots of natural light, rainwater collection from the roofline to flush the toilets and rain gardens to capture surface water from the parking lots.*”

<http://www.rentonreporter.com/news/167240015.html>

Renton School District could follow it's own example set during the design and construction of Secondary Learning Center to include many energy conservations to the new Sartori Elementary School. This SLC building is described on the NAC Architecture website as as sustainable prototype for Renton School District, a statement which implies future buildings in the district will also have similar features: “*As a sustainable prototype for the District, the SLC implements multiple sustainable strategies to reduce resource use, including geothermal, displacement ventilation and rainwater collection.*” <http://www.nacarchitecture.com/portfolio/RentonSLC.html>

Similar emphasis on environmental design is not apparent in the SEPA checklist for Sartori Elementary. I recommend that the new school follow in the footsteps of Secondary Learning Center with an emphasis on sustainable strategies and design that is environmentally conscious.

## 7. ENVIRONMENTAL HEALTH

b. 1. Regarding off-site noise

The SEPA Checklist states there is no offsite noise which affects this proposal and that the primary source of noise in the area is generated from vehicular traffic. I ask that you note, there is an abundance of noise in the area due to Boeing engine tests, airplanes from the Renton Airport (flying directly over Garden AVE), Helicopters also from the Renton Airport, Emergency vehicles using Park & N 3rd regularly, and trains traveling to Boeing using their whistles at



local intersections. Noise is a problem which is recognized by neighbors to the point that it has been a topic of discussion at NRNA meetings.

The SEPA checklist states that speed limits adjacent to the street are all 20 miles per hour and that will help with the noise. This statement is completely false. There are no streets in the neighborhood which are 20 miles per hour. The speed limits are 30 mph on Park and N. 4th, and 25 mph on Garden and N. 3rd. The noise from the construction will have a big impact and more measures should be taken to lessen it. The statement that current speed limits of 20 mph surrounding the site is not offering any solution.

b. 2. Regarding types of noise and operating hours

Although City ordinance allows work to begin at 7 AM, due to the close proximity to residences (directly across the street on Park AVE N and on Garden AVE N), these hours of operation should be adjusted. I request a delay of work to begin at 8 AM during the weekdays. This delay should be in place at least for the loud equipment such as pile drivers. The homes in North Renton are old homes, they do not block noise well, so accommodations for that and the close proximity to the construction are necessary.

10. AESTHETICS

c. Regarding Measures to reduce or control aesthetic impacts

Consideration should be given to the appearance of the back side of the building which will be along Park AVE N. which in the design plans appears to be a brick wall with some windows. I suggest the design include art work in the form of patterns in the brick, a mural, a community project, or some other visually pleasing appearance to the back side of the building.

12. RECREATION

c. Regarding the play field

The SEPA Checklist states that a portion of the playfield will be left open for public use. I request that portion continue to be located along the Garden AVE side of the site which is completely residential. Also, workers on the site, and truck drivers/companies who will be accessing the site, should be made aware that the Garden side of the block is residential, and kids are used to playing at the school and crossing the street throughout the day. They should be encouraged to exercise caution while driving along this street given the knowledge that there are 15 school aged children living on Garden AVE N between N. 3rd and N. 4th street. The children appreciate the plan to keep part of the playfield open for their use.



### 13. HISTORICAL AND CULTURAL PRESERVATION

#### b. Regarding historical features of the school

It is noted in the SEPA Checklist that the Washington State Department of Archaeology and Historic Preservation Historic Inventory Report were reviewed to assess the presence of historical features to the site. The Renton History Museum is not listed as having been consulted about the historical significance of Sartori and should also be consulted.

### 14. TRANSPORTATION

The SEPA Checklist here gives reference to a detailed Transportation Technical Report (Heffron Transportation, Inc., August 2016). There is a major error and omission in this Transportation report on page 4, section 2.1.1 which describes the existing roadway network. The report describes Garden AVE N. as *"a two-way, north-south roadway that provides connection between Bronson Way N to the south and N Park Drive to the north"*. Garden AVE does not connect from Bronson Way N to N Park Drive. This statement is inaccurate and implies that Garden AVE is a through street. There is no mention in the report of the traffic barrier which is in place at that location and there is no mention that there is no through access at the intersection of Garden and N 4th Street.

The SEPA Checklist also does not mention any consultation with the City of Renton Traffic division regarding traffic citations on the surrounding streets. The report gives reverence to the number of collisions, but does not reference any knowledge of citations given or problems over time at adjacent intersections. I recommend that the City of Renton Police Department be consulted to gain a better understanding of issues at the surrounding intersections.

#### d. Regarding new or improvements to existing roads.

There needs to be improvements to the intersection of N 4th and Garden AVE N. Without any changes to the street, all traffic must approach the location in the left lane along N 4th Street and Garden. Additional traffic includes Boeing employees who utilize Meadow in the morning to cut through the neighborhood and go around to Garden north off N. 4th street, and also compounded by the Boeing employees in the afternoon leaving their parking lot and turning onto N 4th Street and into that same left lane that the parent pick up lane will spill onto. The current street system cannot accommodate the proposed additional traffic for this school.

#### h. Proposed measures to reduce or control traffic impacts

The Transportation Technical Report states that *“Based on these results, the project is expected to have a negligible impact to traffic operations at study area intersections”*. The current street system cannot accommodate the proposed additional traffic, all approaching the school in the left lane of N 4th Street. I again suggest the school district acknowledge this problem and meet with the City of Renton Transportation Department and North Renton neighbors to find solutions. I suggest the barrier not be removed, but possibly moved to a location to the north, changed to allow for school buses to travel across the street but closed to southbound traffic and possibly closed to northbound traffic.

In order to help control the impact of truck traffic during construction as well as after the school is open, the established Truck Routes map for the City of Renton should be distributed to all companies who will access the school, as was done during the construction of the new bus barn. The truck companies also should be explained that the City of Renton requires trucks to use the most direct route off the truck route to and from the site. This means the trucks should be approaching off of Park AVE N., then taking the closest route back to Park AVE N. to exit the site. It is inevitable that some trucks will need to travel on N 3rd, N 4th, and Garden AVE N, but they should not be traveling on other neighborhood streets such as driving on N 4th street all the way to Logan AVE. I recommend that if necessary the school district work with the City of Renton Police Department to contact these companies.

## 15. PUBLIC SERVICES

### a. Regarding the need for additional public services

The SEPA Checklist states there will not be a need for any additional public services. However, if no improvements are made to the intersection of N. 4th and Garden, this location will not be able to handle the added vehicular trips to this location. Two Renton Police Department officers will be required daily, for at least one hour in the morning, and one hour in the afternoon, to direct traffic approaching the school. The proposed access for parent vehicles during drop off and pick up times is not appropriate for the surrounding street system without making any improvements to the street system.



## Matthew Herrera

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**From:** Enkeli <enkeli\_l@yahoo.com>  
**Sent:** Thursday, September 15, 2016 9:38 PM  
**To:** Matthew Herrera  
**Subject:** Fw: Additional Comments for SEPA Review of Sartori Elementary School

Mr. Herrera,

Below are some additional comments I sent to Mr. Stracke for the SEPA review. Thank you for your interest in our concerns.

Angie Laulainen

----- Forwarded Message -----

**From:** Enkeli <enkeli\_l@yahoo.com>  
**To:** Richard (Rick) Stracke <richard.stracke@rentonschools.us>  
**Cc:** Matthew Feldmeyer <matthew.feldmeyer@rentonschools.us>; "north.renton@gmail.com" <north.renton@gmail.com>; "geosaldaniel@wwdb.org" <geosaldaniel@wwdb.org>; Diane Dobson <dmd821@aol.com>; "lklein@ahbl.com" <lklein@ahbl.com>; Randy Matheson <randy.matheson@rentonschools.us>; Nancy Monahan <monahan55@hotmail.com>; Jennifer T. Henning <jhenning@rentonwa.gov>; Rocale Timmons <rtimmons@rentonwa.gov>; Gloria Hodge <Gloria.Hodge@rentonschools.us>; Al Talley <al.talley@rentonschools.us>; Todd Franceschina <todd.franceschina@rentonschools.us>; Lynn Desmarais <lynn.desmarais@rentonschools.us>; Pam Teal <Pam.Teal@rentonschools.us>; Arthur (Art) Jarvis <Arthur.Jarvis@rentonschools.us>; Gregg Zimmerman <gzimmerman@rentonwa.gov>  
**Sent:** Tuesday, September 13, 2016 10:32 PM  
**Subject:** Additional Comments for SEPA Review of Sartori Elementary School

September 14, 2016

Mr. Stracke,

Please review and confirm receipt of these additional comments included in this message for the current SEPA Review for the construction of Sartori Elementary School. They are all related to section B, Environmental Impacts.

Thank you again for your consideration,

Angie Laulainen

ADDITIONAL COMMENTS:

Section B ENVIRONMENTAL IMPACTS

14. TRANSPORTATION

d. Regarding new or improvements to existing roads.

In addition to the traffic previously mentioned on N 4th Street (*school buses approaching Sartori to go into the bus lane, parent drivers approaching the parent loop for Sartori, Boeing commuters utilizing Meadow in the morning to cut through the neighborhood and go around to Garden north off N. 4th street, Boeing employees in the afternoon leaving their parking lot and turning onto N 4th Street*), there are also Renton School District buses exiting the bus barn from a driveway directly across from the proposed entrance to the parent drop off loop. Many of these RSD buses which serve schools throughout the district will also be changing lanes immediately to go over to the left lane of N 4th street in order to turn left onto Park AVE.

In order to alleviate the impact these buses will have on access for parents to the new school, Renton School District should make an additional entrance to the bus barn on the North side of the bus barn. An entrance should be added so that Renton School Buses could enter and exit the bus barn off of N 5th Street. This would help alleviate the impact of more school district traffic on N. 4th street.

h. Proposed measures to reduce or control traffic impacts

There needs to be consideration given to additional measures to reduce or control traffic impacts. The proposal routes all traffic for this school through a very problematic intersection, in fact, from May 1st to September 6th this year, the Renton Police Department issued 44 traffic citations, all for “*failue to comply with restrictive signs*”. These citations are only a small portion of the violators at this intersection, and do not reflect the volume and complexity of the problem. I again suggest the school district acknowledge the need to address the issues at this intersection. The City of Renton Transportation Department and North Renton neighbors who are familiar with the intersection should be included in trying to find solutions rather than routing all the parents and buses through this intersection without responsible planning.

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**From:** Richard (Rick) Stracke <richard.stracke@rentonschools.us>  
**To:** Enkeli <enkeli\_l@yahoo.com>  
**Sent:** Tuesday, September 13, 2016 10:00 AM  
**Subject:** RE: Official Comments for SEPA Review of Sartori Elementary School

Received

Rick Stracke  
Executive Director  
Facilities Planning  
425-204-4403

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**From:** Enkeli [mailto:enkeli\_l@yahoo.com]  
**Sent:** Sunday, September 11, 2016 2:00 PM  
**To:** Richard (Rick) Stracke <richard.stracke@rentonschools.us>  
**Cc:** Matthew Feldmeyer <matthew.feldmeyer@rentonschools.us>; north.renton@gmail.com; geosaldaniel@wwdb.org; Diane Dobson <dmd821@aol.com>; lklein@ahbl.com; Randy Matheson <randy.matheson@rentonschools.us>; Nancy Monahan <monahan55@hotmail.com>; Jennifer T. Henning <jhenning@rentonwa.gov>; Rocale Timmons <rtimmons@rentonwa.gov>; Gloria Hodge <Gloria.Hodge@rentonschools.us>; Al Talley <al.talley@rentonschools.us>; Todd Franceschina <todd.franceschina@rentonschools.us>; Lynn Desmarais <lynn.desmarais@rentonschools.us>; Pam Teal <Pam.Teal@rentonschools.us>; Arthur (Art) Jarvis <Arthur.Jarvis@rentonschools.us>; Gregg Zimmerman <gzimmerman@rentonwa.gov>  
**Subject:** Official Comments for SEPA Review of Sartori Elementary School

Mr. Stracke,



I am sending in the attached PDF file official comments for the SEPA Review of Sartori Elementary School. Please acknowledge receipt of these comments as you are the designated school district contact for the SEPA consultation. It would be helpful if you can inform me if any changes are made to these items. Thank you.

Sincerely,

Angie Laulainen

## Matthew Herrera

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**From:** Enkeli <enkeli\_l@yahoo.com>  
**Sent:** Sunday, September 18, 2016 9:00 PM  
**To:** Matthew Feldmeyer; Richard (Rick) Stracke; Matthew Herrera  
**Cc:** north.renton@gmail.com; geosaldaniel@wwdb.org; Diane Dobson; lklein@ahbl.com; Randy Matheson; Nancy Monahan; Jennifer T. Henning; Gloria Hodge; Arthur (Art) Jarvis; Gregg A. Zimmerman  
**Subject:** Request for New Traffic Study  
**Attachments:** Table 6 Transportation Report.png

Mr. Stracke, Mr. Feldmeyer, and Mr. Hererra,

I am sending these comments to be considered for both the SEPA review and the Land Use Application.

Due to several inaccuracies of the recent traffic study done by Heffron Transportation for the SEPA review for Renton School District, I request that a new, non-biased and more thorough study be done of the Sartori site for traffic impacts. The current study asserts that the impact of the traffic to the site is "negligible" meaning there will be no impact of the new traffic to the neighborhood from the new elementary school traffic.

One reason the study has reached this conclusion is because existing trips to the school are calculated based on the square footage of the school. Using these calculations, it is stated that the new school will be twice the size of the current school. Table 6 in the report (see attached) shows 610 current trips to the existing building based on its square footage (there is nowhere near that number of trips to the school). This number is offset against 1220 trips to the proposed school which is twice the square footage of the existing Sartori. When current trips of 610 are added in with an estimated 660 current trips to the deli on Park AVE, as well as any current trips to the homes on the block, the traffic study concludes that there will actually be 200 LESS trips per day to the site than current use. It seems obvious that a school with 650 students is not double the size of the current school (a handful of Adult Transition students), and there is no way that a new elementary school will generate LESS traffic.

In addition, the study states that *"In the mornings, school drop-off activities usually occur with limited queues or delay. This is because arrivals tend to be spread out over the 20 to 30 minutes before school start time. During this period, family drivers generally arrive, drop off students, and then immediately leave the site. In the afternoons, many family drivers arrive early and wait in the queue lane(s) or parking spaces for the students to be dismissed, and longer vehicle queues can develop."* This statement is misleading to suggest the parent queue will not spill over onto N. 4th Street. Current RSD procedure is that no students are to be dropped off more than 10 to 15 minutes early. For example, the schools currently serving this area are Hazelwood which does not permit drop off more than 15 minutes before start time, and Highlands and Bryn Mawr Elementaries which do not allow drop off earlier than 10 minutes prior to start time.

For a more accurate result, the study needs to recognize what the impact will be of current traffic in the commercial zone (along Park AVE) being relocated into the residential zone (specifically along 4th and Garden). Traffic to the deli which occurs over the course of a day, will have significant impact when routed through the opposite intersection, which is on the residential side of the block. The study also needs to consider the fact that the proposal channels all traffic through one lane approaching the school. The stretch of N. 4th between Garden and Park needs to be studied as it has the potential for the parent queue to extend onto that location.



It may also benefit all parties involved to include neighbors in the discussion. Neighbors have several ideas which could improve the plan without making major changes to the site.

Respectfully,

Angie Laulainen



October 11, 2016

Community & Economic Development C. E. "Chip" Vincent, Administrator

Angie Laulainen  
314 Garden Ave N  
Renton, WA 98055  
Email to enkeli\_l@yahoo.com

**SUBJECT:      Response to Public Comments**  
**Sartori Elementary School / LUA16-000692**

Dear Ms. Laulainen:

Thank you for your comments regarding the proposed Sartori Elementary School (LUA16-000692) located at 315 Garden Ave N. The City of Renton's Department of Community and Economic Development is reviewing the Planned Urban Development land use application and will provide a recommendation to the Hearing Examiner at an upcoming public hearing. The Renton School District is the Lead Agency for the review required by the *State Environmental Policy Act (SEPA)* and it will issue a threshold determination prior to the public hearing.

Many of the comments you submitted to the City during the land use application commenting period of September 14-28, 2016 were comments associated with the environmental checklist for the SEPA review. While the school district is the Lead Agency for the SEPA review, I have provided responses as they relate to city code. I have also added you as a Party of Record for the land use application.

I've paraphrased your comments and provided a response (*bulleted and italicized*) to each of them below:

**Environmental Checklist Comments received via email September 15, 2016:**

**1. Earth**

History of instability on Garden Ave N specifically a sinkhole at the south end of the street.

- *I have forwarded this concern to Mike Stenhouse in the City's Public Works Maintenance Division.*

Instability related to historic Lake Washington and Black River basins.

- *The subject property is within a High Seismic Hazard area as identified on the City's mapping database. This is due to soils that are associated with former channels of the Cedar River. A geotechnical report was prepared for the proposed new building and associated improvements. The City's adopted building code will require the school district to design the building to withstand the effects of seismic events.*

Exhibit  
15



## 6. Energy and Natural Resources

Recommend the use of solar panels and other sustainable strategies and design similar to the Secondary Learning Center.

- *The City supports the school district in efforts to utilize sustainable strategies and design for the Sartori Elementary School. The City's Comprehensive Plan contains policies that encourage LEED construction and efforts to reduce greenhouse gases.*

## 7. Environmental Health

No mention of offsite noise that would affect the proposal. Off-site noise identified from Boeing, Renton Airport, emergency vehicles, and trains.

- *Modern building practices and the City's adopted building code requires exterior materials and insulation that should help mitigate some of the off-site noise impacts you have cited.*

Checklist refers to speeds adjacent to school at 20 mph that will mitigate noise. Speed limits posted at 30 mph in neighborhood.

- *Streets adjacent to schools are limited to 20 mph. The City has provided recommendations for SEPA mitigation measures that include installation of flashing school zone signs and radar detecting school zone signs.*

Permitted construction hours within the City begin at 7am. There should be a delay to begin at 8am for loud equipment such as pile drivers.

- *The school district has proposed a method of pile construction called augercast. As an alternative to traditional pile driving, piles are formed by drilling and then grout is pumped down within a hollow stem. The school district has indicated noise impacts from this system of foundation construction are analogous to normal construction activities.*

## 10. Aesthetics

Concern with appearance of Park Ave N. side of building. Suggest art or other visually pleasing articulation on west elevation.

- *The design of the building is required to meet urban design standards set forth in the City's Development Regulations. Applicants are able to choose from a menu of options that meet the standards outright and/or suggest alternative methods of design that meet the intent of the guidelines. City staff will provide a recommendation, with consideration of your comments, to the Hearing Examiner on design aspects of the proposal.*

## 12. Recreation

School district has indication a portion of the playfield will remain open during construction. Available portion should be along Garden Ave N. side of property. Contractors should be made aware of children using playfield and crossing Garden Ave N.



- *This comment is outside the scope of the City's review of the land use application. However any portion of the field that remains open during school construction will need to be adequately fenced and separated from construction activities.*

### 13. Historical and Cultural Preservation

Renton History Museum was not listed as being consulted regarding historical significance of Sartori.

- *The school district did contact the Renton History Museum related to any building fixtures the museum would like to retain for their collection. No fixtures were identified by the museum curator as much of the furnishings had been already been removed. The curator did request a brick from the building following demolition.*

### 14. Transportation

Transportation report describes inaccurate description of Garden Ave N. and does not identify barrier on N. 4<sup>th</sup>.

- *The City concurs and is aware of the limitations of Garden Ave N. The finalized report should provide clarification of Garden Ave N limitations including the barrier.*

No consultation was mentioned with the City regarding traffic citations on surrounding streets.

- *A Traffic Impact Analysis does not typically include area traffic citations. The analysis is intended to determine whether new vehicle trips will cause failures to the City's transportation network and potential traffic safety hazards. The City has recommended several pedestrian safety measures near the school such flashing pedestrian signage and radar signs.*

Improvements are needed to the intersection of N. 4<sup>th</sup> and Garden Ave N. The current street system cannot accommodate the additional traffic caused by the school.

- *The Traffic Impact Analysis has modeled the new trips added to the intersection associated with the school and determined those trips and existing traffic will not cause a failure to the intersection. The City has recommended improvements to the intersection that include curb-bulbs that will reduce the crossing distance for pedestrians and provide a traffic calming measure for vehicle traffic on Garden Ave. N. Additionally, the City has recommended that the school district prepare an operational plan that would address any potential queuing extending onto N. 4<sup>th</sup> St.*

Suggest the barrier on N. 4<sup>th</sup> and Garden Ave N. be relocated to allow school busses to access Garden Ave N. from bus facility.

- *The City of Renton Police Department currently and will continue to provide patrol and presence in the area of the cut-through barrier located at N. 4<sup>th</sup> Street and Garden Ave N. during Boeing shift changes. The barrier was placed at its current location to direct vehicles to the N. 4<sup>th</sup> Street arterial. The removal or relocation of the barrier could result*





*in additional school bus (other than Sartori busses) and cut-through traffic along Garden Ave N. At this time, the City is not recommending the removal or relocation of the barrier due to the potential increase of vehicle traffic on Garden Ave N. between N. 3<sup>rd</sup> and N. 4<sup>th</sup> Avenues.*

Truck route maps should be distributed to all contractors during construction.

*The school district has been made aware of the designated truck routes in the City. Also, prior to construction of the school, a pre-construction meeting will be required with the school district and their construction superintendent where truck routes will be further discussed.*

#### **15. Public Services**

Two Renton Police Department offices will be required for pick-up and drop-off to direct traffic if no improvements are made to the intersection of N. 4<sup>th</sup> St. and Garden Ave N.

- *As mentioned previously, the Traffic Impact Analysis has modeled the new trips added to the intersection that are associated with the school and those trips along with existing traffic volumes will not cause a failure to the intersection. The City has recommended that the school district prepare an operational plan that would address any potential queuing extending onto N. 4<sup>th</sup> St.*

#### **Additional Environmental Checklist Comments received via email September 15, 2016**

#### **14. Transportation**

Buses leaving the school district bus barn will be exiting from a driveway directly across the Sartori pick-up and drop-off driveway. Busses will be changing lanes immediately to the far left lanes to turn onto Park Ave N. School district should make an additional entrance on the north side of bus barn to alleviate district traffic on N. 4<sup>th</sup> Street.

- *As mentioned previously, the Traffic Impact Analysis found no failures on the abutting intersections, which accounted for existing bus traffic and proposed trips to the new school. Additional ingress/egress to the school district bus facility is not warranted at this time.*

#### **Comments received via email September 16, 2016**

Concern regarding response from Randy Matheson about a statement that the school district does not make improvement to traffic patterns or road improvements. Traffic report prepared by the school district refers to impacts created by the new school as negligible.

- *As part of the SEPA review, the school district and the City will review area intersections to identify any Level of Service failures caused by the new trips for the proposed elementary school. Any Level of Service failures would need to be corrected via improvements to the transportation system or reducing the scope of the project. While no Level of Service failures were identified, the City has recommended that the school district provide pedestrian safety measures and prepare operational plans for potential queuing during pick-up/drop-off and overflow parking during special events.*



**Comments received via email September 19, 2016**

Request a new non-biased and more thorough traffic report be prepared for the project. Report identifies traffic impact to proposed school as negligible. Report identifies 200 fewer trips per day to the site than the current use.

- *The school district has indicated a finalized transportation report will be issued with the SEPA threshold determination. According to Section 3.2.2 of the report, the trip generation rates for existing uses and net change that resulted in 200 fewer trips per day was an analysis the transportation engineer prepared for disclosure purposes that could be used in determining mitigation requirements and impact fees. The analysis assumed the school was fully functional, which is why the analysis resulted in 200 fewer trips. This specific analysis did not determine whether the new school would cause failures to the abutting intersections. The City has informally recommended that this specific analysis either be removed from the final report or better clarified.*

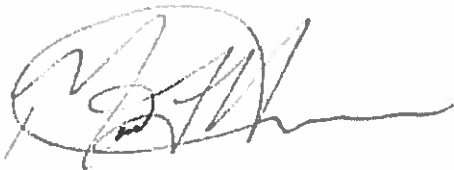
Morning drop-off times identified as 20 to 30 minutes prior to start time are not in line with the district's policy of not allowing drop off more than 10 to 15 minutes prior to start time. Study should look at impact of current traffic along Park Ave N being relocated into residential zone, specifically N. 4<sup>th</sup> and Garden Ave N. The stretch of N. 4<sup>th</sup> between Garden Ave N and Park Ave N should be studied for potential queue impacts.

- *The City has recommended the school district prepare an operational plan to address any potential queue impacts onto N. 4<sup>th</sup> Street during pick-up and drop-off time.*

**Closing**

Again, thank you for providing comments regarding the proposed Sartori Elementary School. You are Party of Record for the land use application. Your comments are now part of the official file and will be considered prior to the Hearing Examiner issuing a decision. Please feel free to contact me at 425.430.6593 or [matt.herrera@rentonwa.gov](mailto:matt.herrera@rentonwa.gov) if you have any questions regarding the project proposal.

Sincerely,



Matthew Herrera, AICP  
Senior Planner





## Matthew Herrera

---

**From:** Enkeli <enkeli\_l@yahoo.com>  
**Sent:** Friday, September 16, 2016 7:50 AM  
**To:** Matthew Herrera  
**Cc:** Diane Dobson; North Renton Neighborhood Association  
**Subject:** Fw: Sartori School: SEPA request; next steps with North Renton Neighborhood Assoc  
**Attachments:** 20160823\_Final SEPA Checklist\_2160359.pdf

Mr. Herrera,

I am forwarding to you this strain of messages between myself and Renton School District, most importantly, because in this last response from Randy Matheson, he states that the school district doesn't make any improvements to traffic patterns or road improvements. This is also what they said at the meeting last night, but also they refuse to make any suggestions for road improvements or even acknowledge there is a problem. The traffic report calls the impact on our neighborhood "negligible". If the school district refuses to acknowledge the impact of traffic in the SEPA review, how can we address this problem?

Also, in the messages below, you can see that it took a full week of messages from me to the school district before they disclosed the SEPA checklist. After I went to the school district to ask for the traffic report, their project manager, Matt Feldmeyer, has offered to disclose any documents I request, but the school district has made the process very difficult. Regarding the traffic report, they call it a "draft" and don't want us to refer to it, but they submitted the draft to you so it appears to be official.

Angie Laulainen

----- Forwarded Message -----

**From:** Randy Matheson <randy.matheson@rentonschools.us>  
**To:** Enkeli <enkeli\_l@yahoo.com>; Matthew Feldmeyer <matthew.feldmeyer@rentonschools.us>; Brad Medrud <bmedrud@ahbl.com>  
**Cc:** North Renton Neighborhood Association <north.renton@gmail.com>; Diane Dobson <dmd821@aol.com>; George and Sally <geosaldaniel@wwdb.org>; Rocale Timmons <rtimmons@rentonwa.gov>; Jennifer T. Henning <jhenning@rentonwa.gov>; Nancy Monahan <monahan55@hotmail.com>  
**Sent:** Friday, September 2, 2016 8:07 AM  
**Subject:** RE: Sartori School: SEPA request; next steps with North Renton Neighborhood Assoc

Sorry for the confusion. Attached is the SEPA Checklist for the Sartori Elementary School project.

In regards to your question about work on the cross streets North 4<sup>th</sup> Street and Garden Ave North: The school district does not make any changes to traffic patterns or street improvements as part of its school construction projects. We do include some work to improve sidewalks and gutters along streets that adjoin the property; but, not specifically to traffic patterns or road improvements.

Randy Matheson, Executive Director, Community Relations Renton School District | 300 SW 7th Street, Renton WA 98057 | 425.204.2345 | [randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us) | [www.rentonschools.us](http://www.rentonschools.us) |  



Exhibit  
16

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**From:** Enkeli [mailto:enkeli\_l@yahoo.com]  
**Sent:** Thursday, September 01, 2016 12:44 AM  
**To:** Randy Matheson <randy.matheson@rentonschools.us>; Matthew Feldmeyer <matthew.feldmeyer@rentonschools.us>; Brad Medrud <bmedrud@ahbl.com>  
**Cc:** North Renton Neighborhood Association <north.renton@gmail.com>; Diane Dobson <dmd821@aol.com>; George and Sally <geosaldaniel@wwdb.org>; Rocale Timmons <rtimmons@rentonwa.gov>; Jennifer T. Henning <jhenning@rentonwa.gov>; Nancy Monahan <monahan55@hotmail.com>  
**Subject:** Re: Sartori School: SEPA request; next steps with North Renton Neighborhood Assoc

Mr. Matheson,

The document I am requesting is the SEPA checklist (not requesting all the documents and studies included in the report). Previously when I requested this during the demolition, Brad Medrud sent me a copy and also said there would be an expanded SEPA checklist done for the construction phase of the school. Since the recent notification letter I received started out with "*Renton School District has issued a SEPA checklist and associated documents for comment...*", I assumed that would be in the form of another PDF file. Is it not a PDF? If it the SEPA checklist is too large to email, then yes, please print a copy for myself and neighbors to review. However, if a PDF of the checklist only is small enough to email, without all the other documents in the report, then please send as a PDF. I have emailed him again to ask for the current SEPA checklist but he is out of the office at the moment. I will CC him on this message.

Thank you for your reassurances about the project. I do not doubt the school will be state of the art as I have first hand knowledge as a teacher in a school that was recently an AHBL project, as well as another school that was designed by Integrus Architecture. However, as a neighbor to this project, I have great concern about the push to get this done on the fast track without taking the time to consider our concerns and comments especially with regard to traffic. I have specifically been asking about the plans for the intersection of N. 4th and Garden for several months, and have not gotten a response about what those plans are. I know that any proposed changes to traffic will be noted in the checklist, and also that at this time our comments are usually encouraged. If you can send the checklist, it would be very helpful to answer some of these questions and give myself and my neighbors the opportunity to partake in the process.

Thank you,

Angie Laulainen

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**From:** Randy Matheson <[randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us)>  
**To:** Enkeli <[enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)>; Matthew Feldmeyer <[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)>  
**Cc:** North Renton Neighborhood Association <[north.renton@gmail.com](mailto:north.renton@gmail.com)>; Diane Dobson <[dmd821@aol.com](mailto:dmd821@aol.com)>; George and Sally <[geosaldaniel@wwdb.org](mailto:geosaldaniel@wwdb.org)>; Rocale Timmons <[rtimmons@rentonwa.gov](mailto:rtimmons@rentonwa.gov)>; Jennifer T. Henning <[jhenning@rentonwa.gov](mailto:jhenning@rentonwa.gov)>; Nancy Monahan <[monahan55@hotmail.com](mailto:monahan55@hotmail.com)>; Matthew Feldmeyer <[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)>  
**Sent:** Monday, August 29, 2016 5:43 PM  
**Subject:** Sartori School: SEPA request; next steps with North Renton Neighborhood Assoc

Ms. Enkeli,

The contractor hired by the district to create the SEPA report for the Sartori Elementary School project recently finished the SEPA work and simultaneously notified the district and neighbors near Sartori of the completed work. Although they hadn't actually provided access to the report to the district. It's a very big document that cannot be emailed; so the district's facilities department was just given access today to download the document from the contractor's website. We'd



be happy to print a copy of the file and make it available to you. If that's what you'd like, please let me know and we'll start printing it. I'll let you know when it's ready to pick up.

I want to ensure you and all the other North Renton Neighborhood Association members on this email thread that the district is working to build a beautiful facility in your neighborhood that you can be proud of and that will serve your children, your grandchildren, and others in the district for many decades. We'd love to have your input, ideas and involvement. As you know, we want to have this project built expertly, but in a shorter timeline than other schools in the district. The need for this elementary school is urgent as it is being built for children in the district right now. To that end, the architects and designers are well into the building design phase as well as a general layout of where the school will fit on the site. While some of this work must first be approved by the City of Renton, the work to complete the general design and placement is complete.

However, there's still a lot of work to be done before building the new school begins. The district and Integrus Architecture recently presented the school board with new schematic designs for the Sartori Elementary project ([see the presentation here](#)), and I'm working on placing the new information on the district's website. We'd be happy to come to another North Renton Neighborhood meeting to present the new information. Please let me know if your group would like that presentation.

Randy Matheson, Executive Director, Community Relations Renton School District | 300 SW 7th Street, Renton WA 98057 | 425.204.2345 | [randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us) | [www.rentonschools.us](http://www.rentonschools.us) |  



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**From:** Enkeli [[mailto:enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)]

**Sent:** Saturday, August 27, 2016 12:43 AM

**To:** Randy Matheson <[randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us)>; Matthew Feldmeyer <[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)>

**Cc:** North Renton Neighborhood Association <[north.renton@gmail.com](mailto:north.renton@gmail.com)>; Diane Dobson <[dmd821@aol.com](mailto:dmd821@aol.com)>; George and Sally <[geosaldaniel@wwdb.org](mailto:geosaldaniel@wwdb.org)>; Rocale Timmons <[rtimmons@rentonwa.gov](mailto:rtimmons@rentonwa.gov)>; Jennifer T. Henning <[jhenning@rentonwa.gov](mailto:jhenning@rentonwa.gov)>; Nancy Monahan <[monahan55@hotmail.com](mailto:monahan55@hotmail.com)>

**Subject:** Re: Undeliverable: SEPA Checklist Request

Mr. Matheson and Mr. Feldmeyer,

Myself and neighbors got the attached letter on Thursday which came from the school district, announcing "Notice of SEPA Consultation", and detailing documents available for the public to review. I do not understand why I would receive a letter stating these documents are available to the public, if they are not. I also see that the SEPA Checklist for this project is on the SEPA Register on the Department of Ecology website as (see attached screen shot). This website states to contact the Lead Agency (RSD) for actual copies of the SEPA documents. It is also posted in the Northwest Classifieds that these documents are available for review. <http://nwsourc.kaango.com/ad-renton-school-district/24750394>

We appreciate the ability to comment on the plans, and have a lot of good ideas and input that could be very beneficial. I request timely and transparent access to the information that was offered for public review. Please provide copies of the SEPA Checklist, record #201604604 on the SEPA register, as was also declared to be available in the letter I received from Renton School District yesterday (also attached), for myself and my neighbors to review. I have CC'd several neighbors who are also interested in this information.

Thank you,

Angie Laulainen

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**From:** Randy Matheson <[randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us)>  
**To:** Enkeli <[enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)>  
**Cc:** Matthew Feldmeyer <[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)>  
**Sent:** Friday, August 26, 2016 11:44 AM  
**Subject:** RE: Undeliverable: SEPA Checklist Request

Ms. Laulainen ,

Thank you for your request and continued interest on the Sartori Elementary School construction project.

Renton School District is finalizing the SEPA environmental checklist for the Sartori Elementary School project. We hope to submit the documents to the City of Renton by the end of August. The City of Renton will include the documents in other items and have all documents available for public review soon after the district submits them.

Randy Matheson, Executive Director, Community Relations Renton School District | 300 SW 7th Street, Renton WA 98057 | 425.204.2345 |  
<mailto:randy.matheson@rentonschools.us> | [www.rentonschools.us](http://www.rentonschools.us) |  



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**From:** Enkeli [[mailto:enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)]  
**Sent:** Thursday, August 25, 2016 4:29 PM  
**To:** Matthew Feldmeyer <[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)>; Randy Matheson <[randy.matheson@rentonschools.us](mailto:randy.matheson@rentonschools.us)>  
**Subject:** Fw: Undeliverable: SEPA Checklist Request

Mr. Feldmeyer & Mr. Matheson,

I would like to request a copy of the Environmental Checklist for the upcoming construction of Sartori Elementary School. I have tried to contact Mr. Stracke who is listed as the district contact for this information, but the message has bounced back twice. Can you please provide the checklist to me? Please email a copy to this address.

Thank you,  
Angie Laulainen

----- Forwarded Message -----

**From:** "postmaster@rentonschools.us" <[postmaster@rentonschools.us](mailto:postmaster@rentonschools.us)>  
**To:** [enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)  
**Sent:** Thursday, August 25, 2016 4:14 PM  
**Subject:** Undeliverable: SEPA Checklist Request

----- Forwarded Message -----

**Delivery has failed to these recipients or distribution lists:**

[Richard \(Rick\) Stracke](#)

The recipient's e-mail address was not found in the recipient's e-mail system. Microsoft Exchange will not try to redeliver this message for you. Please check the e-mail address and try resending this message, or provide the following diagnostic text to your system administrator.



## Diagnostic information for administrators:

Generating server: 403.edu

[rick.stracke@rentonschools.us](mailto:rick.stracke@rentonschools.us)

#550 5.1.1 RESOLVER.ADR.RecipNotFound; not found ##

### Original message headers:

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Transport; Thu, 25 Aug 2016 23:14:22 +0000

Authentication-Results: spf=pass (sender IP is 98.139.212.163)

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2016 23:14:22 -0000

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X-Yahoo-Newman-Id: [991275.14334.bm@omp1030.mail.bfl.yahoo.com](mailto:991275.14334.bm@omp1030.mail.bfl.yahoo.com)

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sendmailws163.mail.bfl.yahoo.com; Thu, 25 Aug 2016 23:14:22 +0000;

1472166862.594

Date: Thu, 25 Aug 2016 23:14:22 +0000

From: Enkeli <[enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)>

Reply-To: Enkeli <[enkeli\\_l@yahoo.com](mailto:enkeli_l@yahoo.com)>

To: "Richard (Rick) Stracke" <[rick.stracke@rentonschools.us](mailto:rick.stracke@rentonschools.us)>

Message-ID: <[1932777110.1332092.1472166862342.JavaMail.yahoo@mail.yahoo.com](mailto:1932777110.1332092.1472166862342.JavaMail.yahoo@mail.yahoo.com)>

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X-MS-Exchange-CrossTenant-OriginalArrivalTime: 25 Aug 2016 23:14:23.4984

(UTC)

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Mr. Stracke,

I would like to request a copy of the Environmental Checklist for the upcoming construction of Sartori Elementary School. Please email a copy to this address.

Thank you,  
Angie Laulainen

## Matthew Herrera

---

**From:** Kathleen Booher-Sheesley <kbooher@gmail.com>  
**Sent:** Monday, September 19, 2016 9:23 PM  
**To:** Denis Law; Randy Corman; Don Persson; Armondo Pavone; Ryan McIrvin; Ed Prince; Carol Ann Witschi; Ruth Perez  
**Cc:** Diane Dobson; Neil Sheesley; Vanessa Dolbee; Matthew Herrera  
**Subject:** RSD SEPA Evaluation

Mayor and Council,

Thank you for the opportunity to speak this evening. My apologies for not addressing the council appropriately. I was not planning on speaking this evening, was unprepared and mis-spoke. **Our neighbors only have a week to respond to the SEPA evaluation comment period.** RSD is claiming a zip code error on the delayed distribution of notices. Some of our neighbors received official notification of the SEPA comment period on Thursday, 9/15/16, the day of our neighborhood meeting. The inputs are supposed to be submitted by Friday, 9/23, at 5 pm. That is not enough time for our neighbors to review all the documents and provide feedback. RSD is supposed to allow 30 days for comment. Our neighbor, in an attempt to help our community posted the information at the bottom of this email on Nextdoor yesterday. This demonstrates the difficulty we've had in dealing with Randy Matheson. Our meeting on Thursday, 9/15/16, was intended to create the space for our neighbors to understand the process, where we are currently, when we have the opportunity to engage and comment, and ask questions. It didn't go well. We need your help. City representatives were far more transparent, patient, informative and helpful. Some neighbors interpreted the information provided by the city as contrary to what RSD stated - increasing our discomfort with Randy and the perception he is misleading our community. Please inform us on how we can get the comment period extended at least 2 weeks so our neighbors can respond. The next school board meeting isn't until after the comment period ends on 9/23. We need help. Please guide us through this unknown territory with a deadline approaching.

Here is what I wrote to the Interim Assistant Superintendent, Susan Leland, after Randy insulted a co-worker and neighbor. Randy's "behaviors have created significant barriers to being engaged and productive. The misrepresentations of his engagement with our community, sharing of inaccurate information, and lack of response and professionalism are driving this request. He doesn't seem to have the patience, communication skills or professionalism to be our liaison. He has become very adversarial and disrespectful to our community members. We need to be able to engage with someone from RSD that is respectful and willing to partner with this community. While we appreciate his apology last night, it is not enough. Is there any way we can partner with another RSD representative? This is an urgent request as the SEPA evaluation is happening now." And... "Another concern is that our neighbors were not advised appropriately regarding the SEPA comment period. They were informed yesterday (9/15) and responses are due on 9/23. Community members are usually given 30 days to respond. Our neighbors have a week. They have requested a week extension so they can evaluate all the forms and provide feedback."

The response was talk to Matt Feldmeyer, project manager. **She did not address the SEPA comment period.**

### Nextdoor Post:

This is an urgent request as the SEPA evaluation is happening now."

### [Contacts for Sartori Comments](#)

[Angie Laulainen](#) from North Renton · 1d ago



If you wish to comment regarding plans for Sartori, the construction phase of the new elementary school, the time to do so is now:

1) Comments to Renton School District regarding the SEPA Review (send to both names and ask them to confirm receipt of your comments) due by Friday 9/23 5:00 PM:

Rick Stracke, Designated SEPA Official for Renton School District

[rick.stracke@rentonschools.us](mailto:rick.stracke@rentonschools.us)

Matthew Feldmeyer, Project Manager for the new Sartori Elementary

[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)

See the information Renton School District has posted here:

<http://www.rentonschools.us/Page/2718>

Note: the artists rendering which is showing in the slide show is not the current rendition, but you can find the updated one in the posted in the school district documents.

2) Comments to City of Renton regarding the Land Use Application, due by Friday 9/28, 5:00 PM:

Matthew Herrera, Project Manager for City regarding Sartori

[mherrera@rentonwa.gov](mailto:mherrera@rentonwa.gov) (425) 430-6593

See the Land Use Application and documents posted here:

<http://rentonwa.gov/business/default.asp...>

If you are so inclined, send copies of your comments to our Neighborhood organization

North Renton Neighborhood Association [north.renton@gmail.com](mailto:north.renton@gmail.com)

Edited 1d ago · Shared with North Renton + 14 nearby neighborhoods in [General](#)

## Matthew Herrera

---

**From:** North Renton Neighborhood Association <north.renton@gmail.com>  
**Sent:** Monday, September 19, 2016 9:40 PM  
**To:** Denis Law; Randy Corman; Don Persson; Ruth Perez; Carol Ann Witschi; Armondo Pavone; Ryan McIrvin; Ed Prince  
**Cc:** Neil Sheesley; Diane Dobson; Vanessa Dolbee; Matthew Herrera  
**Subject:** Fwd: Help Needed - New RSD Representative Needed

Here is the email between myself and the Interim Assistant Superintendent, Susan Leland. She directs me to the city to address the processes and timelines. We were clearly told on Thursday that the SEPA evaluation, and comment period, is being conducted by RSD. I am trying to find my way through this, but I keep getting redirected. We need help getting through this mess. We need the comment period extended. It would be great if they could get a full 30 days to respond, but were willing to accept 2 weeks.

FYSA... since my experience with Randy on Thursday, 9/15, I've heard from city commissioners and other city leaders (not council or city employees, but volunteers and leaders of other organizations) that they have had similar experiences with Randy. Imagine if I could spend my time and energy doing positive, productive, even creative things rather than chasing down information to get clarity and fighting for an extension so our community members can be engaged. RSD missed a zip code on the distribution of the notification. They need to do the right thing and extend the comment period. Please help us. It shouldn't be this hard for us to be a part of a new elementary school in our community.

Kathleen, Secretary  
North Renton Neighborhood Association

----- Forwarded message -----

**From:** Susan Leland <[Susan.Leland@rentonschools.us](mailto:Susan.Leland@rentonschools.us)>  
**Date:** Mon, Sep 19, 2016 at 3:19 PM  
**Subject:** Re: Help Needed - New RSD Representative Needed  
**To:** North Renton Neighborhood Association <[north.renton@gmail.com](mailto:north.renton@gmail.com)>  
**Cc:** Neil Sheesley <[nasheesley@aol.com](mailto:nasheesley@aol.com)>, Diane Dobson <[dmd821@aol.com](mailto:dmd821@aol.com)>, Tim C <[tcollins@gmail.com](mailto:tcollins@gmail.com)>, "[weaveredits@gmail.com](mailto:weaveredits@gmail.com)" <[weaveredits@gmail.com](mailto:weaveredits@gmail.com)>, Matthew Feldmeyer <[matthew.feldmeyer@rentonschools.us](mailto:matthew.feldmeyer@rentonschools.us)>

Dear Kathy -

Thank you so much for reaching out to me. I hope the information I am providing you will assist you in getting accurate and timely information.

The Sartori project manager is Matt Feldmeyer. He is your best source of district information for the Sartori project and I have included him on the email string.

I also want to direct you to the lead agencies for information and comment periods i.e., the City of Renton etc. to assist you in ensuring you are aware of these strictly defined processes and timelines. The district is not in control of these processes.

I hope this helps.

Susan Smith Leland  
Assistant Superintendent of Finance

Get [Outlook for Android](#)

From: North Renton Neighborhood Association  
Sent: Friday, September 16, 10:16 AM  
Subject: Help Needed - New RSD Representative Needed  
To: Susan Leland  
Cc: Neil Sheesley, Diane Dobson, Tim C, [weaveredit@gmail.com](mailto:weaveredit@gmail.com)

Dear Susan,

I was searching on the RSD Website and found your name. I hope that as the Interim Assistant Superintendent you can help us. I am the secretary of the North Renton Neighborhood Association (NRNA). It has become very apparent that Randy Matheson is not the right community relations representative of RSD to be engaged with our neighborhood for the Sartori School project. We are trying to understand the process and be engaged, but his behaviors have created significant barriers to being engaged and productive. The misrepresentations of his engagement with our community, sharing of inaccurate information, and lack of response and professionalism are driving this request. He doesn't seem to have the patience, communication skills or professionalism to be our liaison. He has become very adversarial and disrespectful to our community members. We need to be able to engage with someone from RSD that is respectful and willing to partner with this community. While we appreciate his apology last night, it is not enough. Is there any way we can partner with another RSD representative? This is an urgent request as the SEPA evaluation is happening now.

Another concern is that our neighbors were not advised appropriately regarding the SEPA comment period. They were informed yesterday and responses are due on 9/23. Community members are usually given 30 days to respond. Our neighbors have a week. They have requested a week extension so they can evaluate all the forms and provide feedback. I think this situation is due, in part, with the discomfort our community has in their dealings with Mr. Matheson. Our neighborhood needs information and transparency on the process. We need someone we trust and is willing to be engaged.

Please consider and advise. Thank you for your time and attention.

Kathleen, Secretary  
North Renton Neighborhood Association



# TREE RETENTION WORKSHEET

## Planning Division

1055 South Grady Way-Renton, WA 98057  
Phone: 425-430-7200 | [www.rentonwa.gov](http://www.rentonwa.gov)

1. Total number of trees over 6" diameter<sup>1</sup>, or alder or cottonwood trees at least 8" in diameter on project site \_\_\_\_\_ trees
2. **Deductions:** Certain trees are excluded from the retention calculation:
  - Trees that are dangerous<sup>2</sup> \_\_\_\_\_ trees
  - Trees in proposed public streets \_\_\_\_\_ trees
  - Trees in proposed private access easements/tracts \_\_\_\_\_ trees
  - Trees in critical areas<sup>3</sup> and buffers \_\_\_\_\_ treesTotal number of **excluded trees:** \_\_\_\_\_ trees
3. Subtract **line 2** from **line 1**: \_\_\_\_\_ trees
4. Next, to determine the number of trees that must be **retained**<sup>4</sup>, multiply **line 3** by:
  - 0.3 in zones RC, R-1, R-4, R-6 or R-8
  - 0.2 in all other residential zones
  - 0.1 in all commercial and industrial zones\_\_\_\_\_ trees
5. List the number of 6" in diameter, or alder or cottonwood trees over 8" in diameter that you are proposing<sup>5</sup> to **retain**<sup>4</sup>: \_\_\_\_\_ trees
6. Subtract **line 5** from **line 4** for **trees to be replaced**:  
(if line 6 is zero or less, stop here. No replacement trees are required) \_\_\_\_\_ trees
7. Multiply **line 6** by **12"** for number of **required replacement inches**: \_\_\_\_\_ inches
8. Proposed size of trees to meet **additional planting** requirement:  
**(Minimum 2" caliper trees required for replacement, otherwise enter 0)** \_\_\_\_\_ inches per tree
9. Divide **line 7** by **line 8** for number of **replacement trees**<sup>6</sup>:  
(If remainder is .5 or greater, round up to the next whole number) \_\_\_\_\_ trees

<sup>1</sup> Measured at 4.5' above grade.

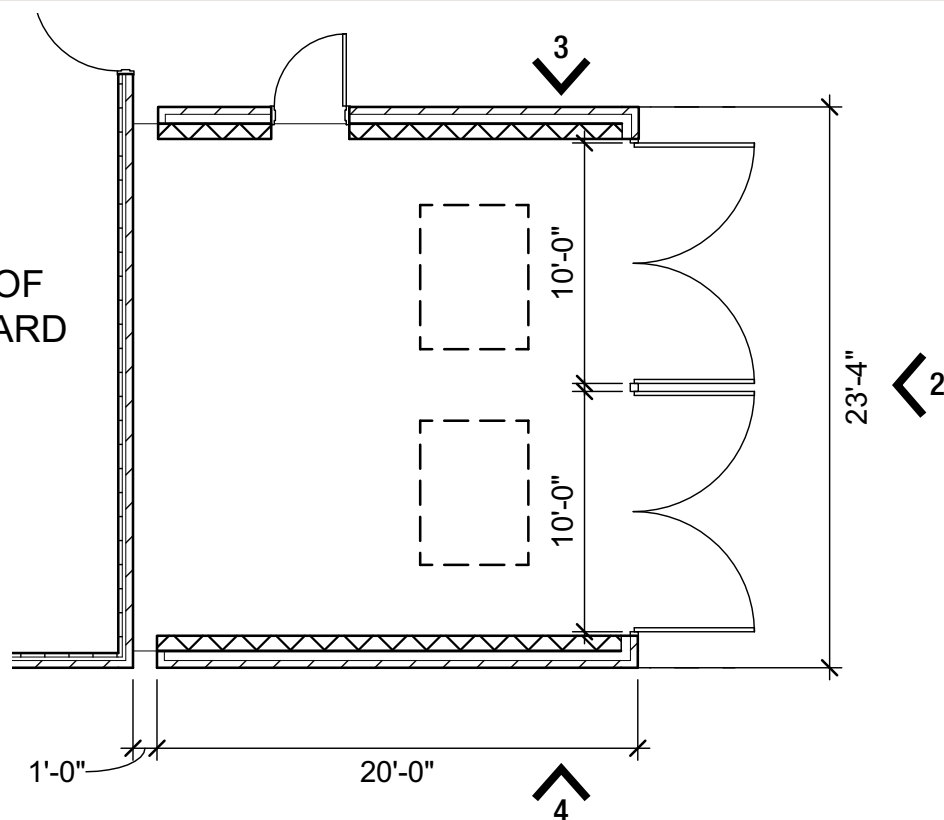
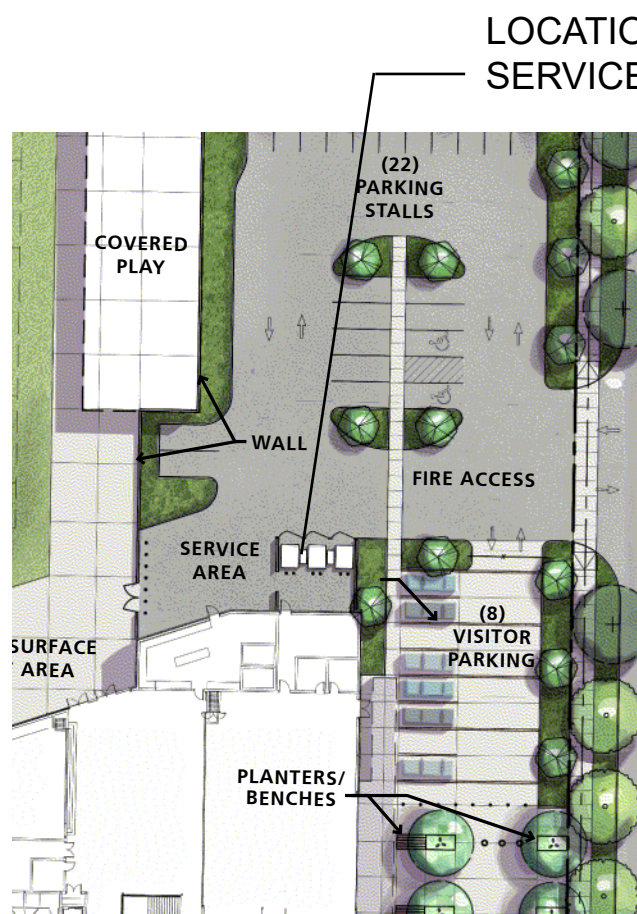
<sup>2</sup> A tree certified, in a written report, as dead, terminally diseased, damaged, or otherwise dangerous to persons or property by a licensed landscape architect, or certified arborist, and approved by the City.

<sup>3</sup> Critical areas, such as wetlands, streams, floodplains and protected slopes, are defined in RMC 4-3-050.

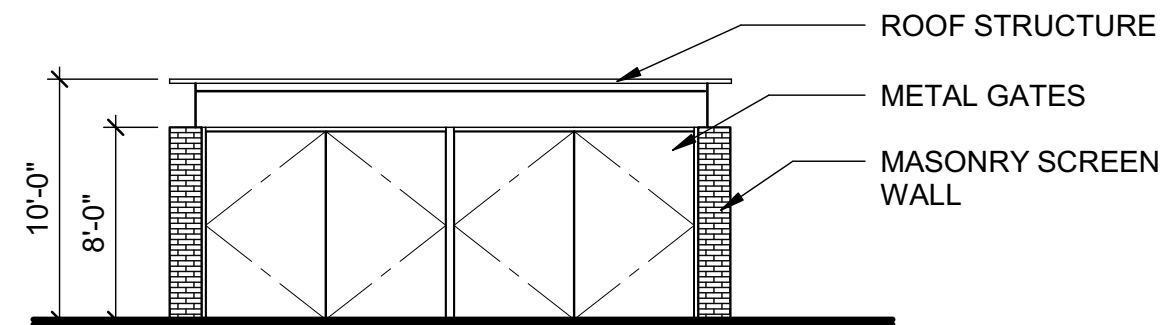
<sup>4</sup> Count only those trees to be retained outside of critical areas and buffers.

<sup>5</sup> The City may require modification of the tree retention plan to ensure retention of the maximum number of trees per RMC 4-4-130H7a.

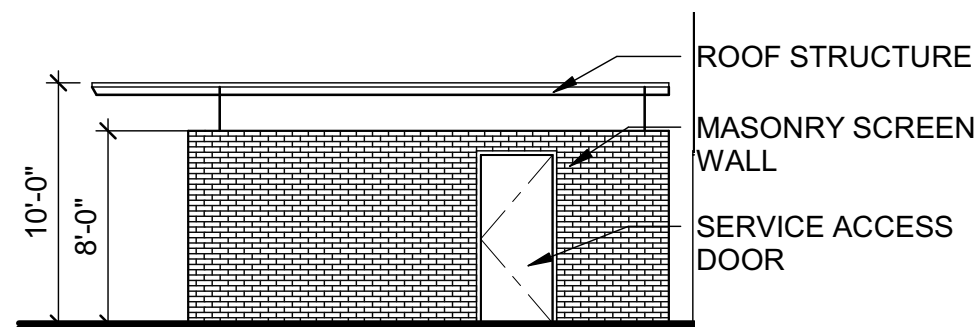
<sup>6</sup> When the required number of protected trees cannot be retained, replacement trees, with at least a two-inch (2") caliper or an evergreen at least six feet (6') tall, shall be planted. See RMC 4-4-130.H.1.e.(ii) for prohibited types of replacement trees.



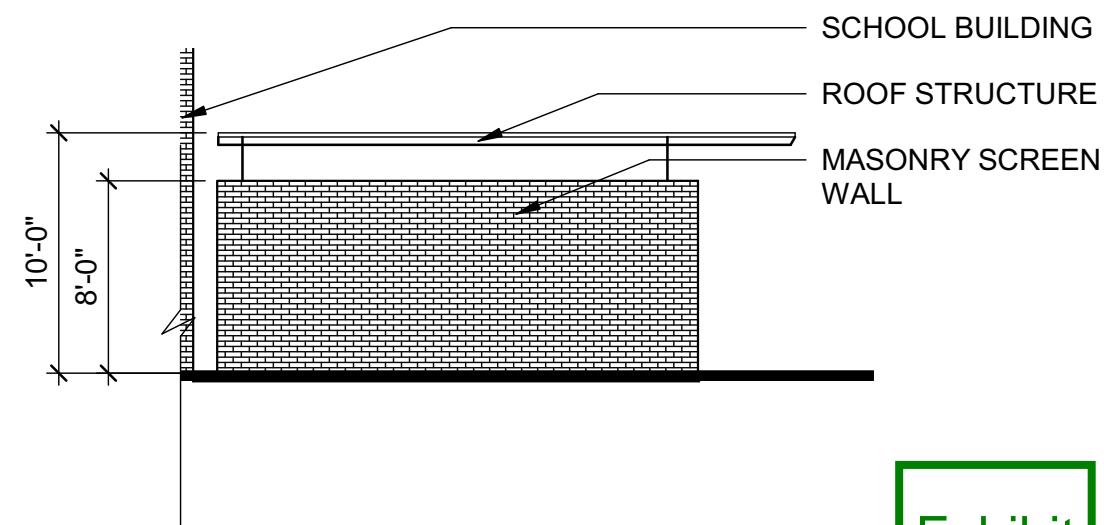
**1** SCREENING PLAN  
SCALE: 1/8" = 1'-0"



**2** EAST ELEVATION-SCREENING  
SCALE: 1/8" = 1'-0"



**3** NORTH ELEVATION-SCREENING  
SCALE: 1/8" = 1'-0"



**4** SOUTH ELEVATION-SCREENING  
SCALE: 1/8" = 1'-0"

Exhibit  
18

## M E M O R A N D U M

DATE: October 31, 2016

TO: Matt Herrera, Senior Planner

FROM: Brianne Bannwarth, Development Engineering Manager

SUBJECT: **Traffic Concurrency Test – Satori Elementary School;  
File No. LUA16-000692**

The Renton School District has submitted applications for Hearing Examiner Planned Urban Development and Hearing Examiner Conditional Use Permit approvals for the construction of a new 3-story 79,000 square foot Satori Elementary School. The subject property consists of 14 contiguous parcels (city block) that are bound by Park Ave N., Garden Ave N., N 4th St., and N 3rd St. The 5.28 acre subject property is an entire block located within the Residential-8 (R-8), R-10, Commercial Neighborhood (CN), and Commercial Arterial (CA) zoning designations. All existing structures are in the process of being removed. Vehicle access to the subject property is proposed on N. 3rd St. and N. 4th St. The proposal includes 83 parking stalls, 14 bus loading spaces, and 14 covered bicycle parking spaces.

The proposed development would generate a reduction in approximately 200 net new average weekday daily trips. During the weekday AM peak hour, the project would generate approximately 176 net new trips (100 inbound and 76 outbound). During the weekday PM peak hour, the project would generate a reduction of approximately 26 net new trips (-19 inbound and -7 outbound). The proposed project passes the City of Renton Traffic Concurrency Test per RMC 4-6-070.D as follows:

<b>Traffic Concurrency Test Criteria</b>	<b>Pass</b>
Implementation of citywide Transportation Plan	Yes
Within allowed growth levels	Yes
Project subject to transportation mitigation or impact fees	Yes
Site specific street improvements to be completed by project	Yes
<b>Traffic Concurrency Test Passes</b>	



### **Evaluation of Test Criteria**

Implementation of citywide Transportation Plan: As shown on the attached citywide traffic concurrency summary, the city's investment in completion of the forecast traffic improvements are at 130% of the scheduled expenditure through 2016.

Within allowed growth levels: As shown on the attached citywide traffic concurrency summary, the calculated citywide trip capacity for concurrency with the city adopted model for 2016 is 79,153 trips, which provides sufficient capacity to accommodate the reduction of 200 trips from this project. A resulting 79,353 trips are remaining.

Project subject to transportation mitigation or impact fees: The project will be subject to transportation impact fees at time of building permit for the project.

Site specific street improvements to be completed by project: The project will be required to complete all internal and frontage street improvements for the building prior to occupancy. Any additional off-site improvements identified through SEPA or land use approval will also be completed prior to final occupancy.

### **Background Information on Traffic Concurrency Test for Renton**

The City of Renton Traffic Concurrency requirements for proposed development projects are covered under Renton Municipal Code (RMC) 4-6-070. The specific concurrency test requirement is covered in RMC 4-6-070.D, which is listed for reference:

#### ***D. CONCURRENCY REVIEW PROCESS:***

***1. Test Required:*** A concurrency test shall be conducted by the Department for each nonexempt development activity. The concurrency test shall determine consistency with the adopted Citywide Level of Service Index and Concurrency Management System established in the Transportation Element of the Renton Comprehensive Plan, according to rules and procedures established by the Department. The Department shall issue an initial concurrency test result describing the outcome of the concurrency test.

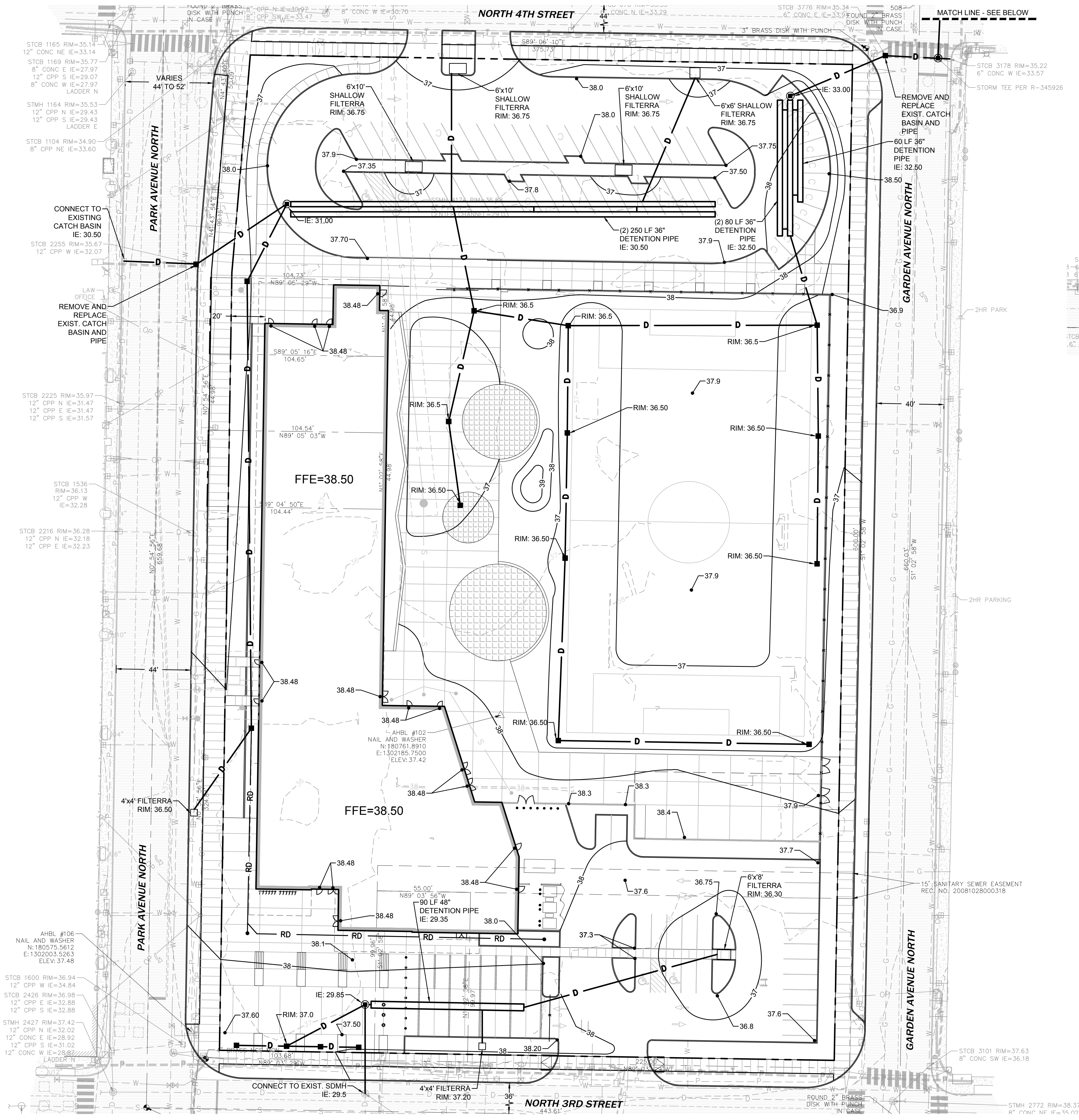
***2. Written Finding Required:*** Prior to approval of any nonexempt development activity permit application, a written finding of concurrency shall be made by the City as part of the development permit approval. The finding of concurrency shall be made by the decision maker with the authority to approve the accompanying development permits required for a development activity. A written finding of concurrency shall apply only to the specific land uses, densities, intensities, and development project described in the application and development permit.

***3. Failure of Test:*** If no reconsideration is requested, or if upon reconsideration a project fails the concurrency test, the project application shall be denied by the decision maker with the authority to approve the accompanying development activity permit application.

The Concurrency Management System established in the Transportation Element on page XI-65 of the Comprehensive Plan states the following:

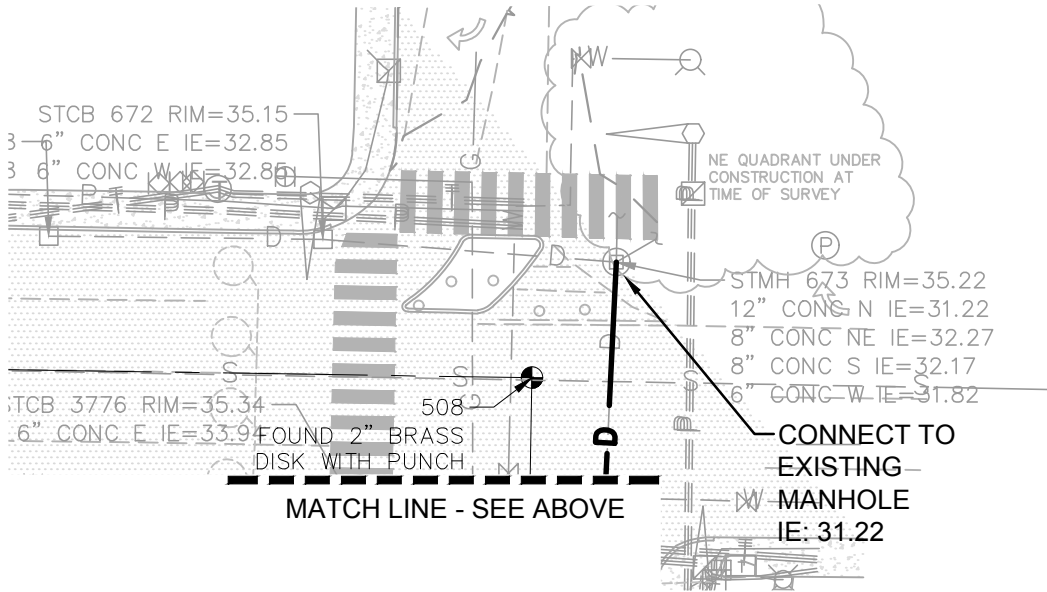
*Based upon the test of the citywide Transportation Plan, consideration of growth levels included in the LOS-tested Transportation Plan, payment of a Transportation Mitigation Fee, and an application of site specific mitigation, development will have met City of Renton concurrency requirements.*





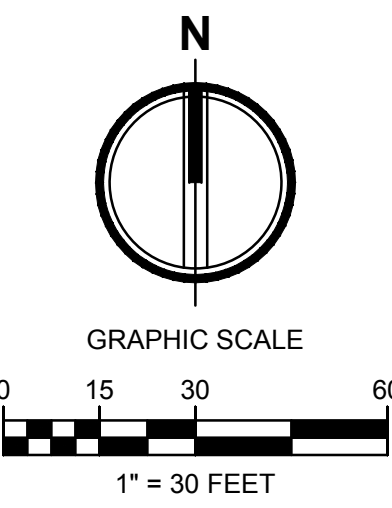
PROPOSED LEGEND:

- STORM CATCH BASIN
- D STORM LINE
- RD ROOF DRAIN
- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE



EXISTING SITE (ALL PARCELS):	5.28 AC
PROPOSED SITE AFTER DEDICATION OF ROW:	4.88 AC
AREA OF WORK:	5.69 AC
FILL LOCATION AND ORIGIN:	TBD BY CONTRACTOR
DESTINATION OF SOIL TO BE REMOVED:	APPROVED LOCATION TBD BY CONTRACTOR

Exhibit 20



integrus  
ARCHITECTURE

117 SOUTH MAIN STREET, SUITE 100, SEATTLE, WA 98104  
TELEPHONE: (206) 288-3137 FAX: (206) 288-3138

SEAN M. COMFORT  
STATE OF WASHINGTON  
PROFESSIONAL ENGINEER  
19910  
1985 (S.D.)

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AHBL NO.: 2160339.10

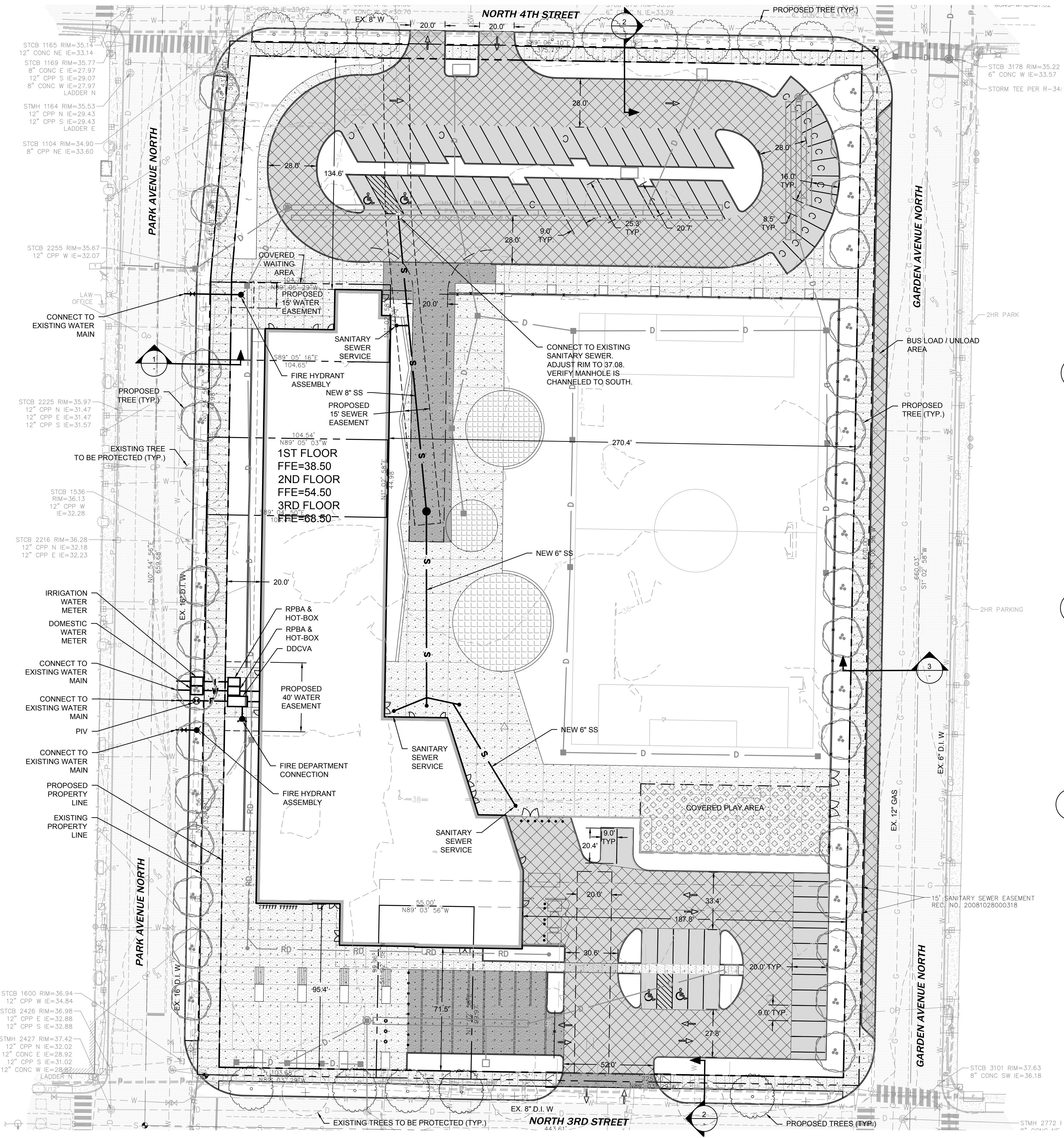
Renton School District  
Sartori Elementary School  
315 Garden Avenue N, Renton WA 98057

Date:	8/24/16	
Job No.:	21607.00	
Drawn By:	F. KATONA	
Checked by:	W. FIERST	
Revisions		
#	Date	Description

CIVIL GRADING  
AND DRAINAGE  
PLAN  
C1.00

Design Development

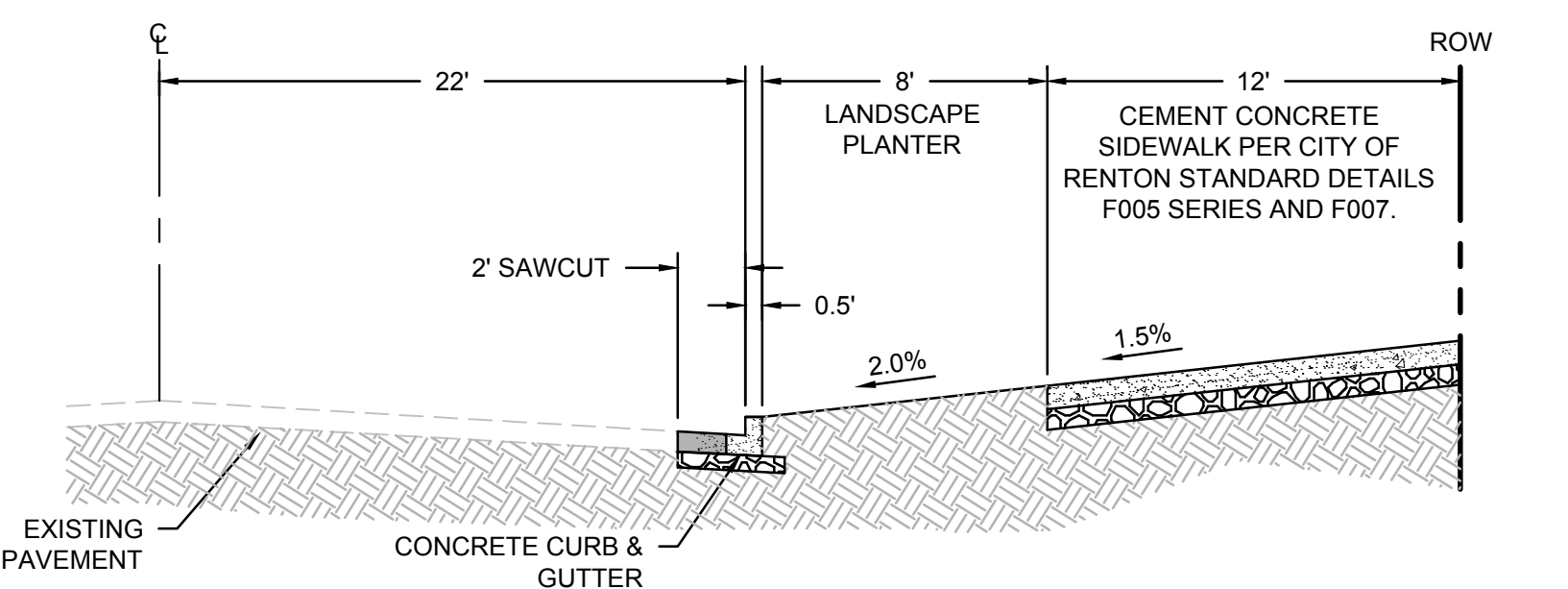




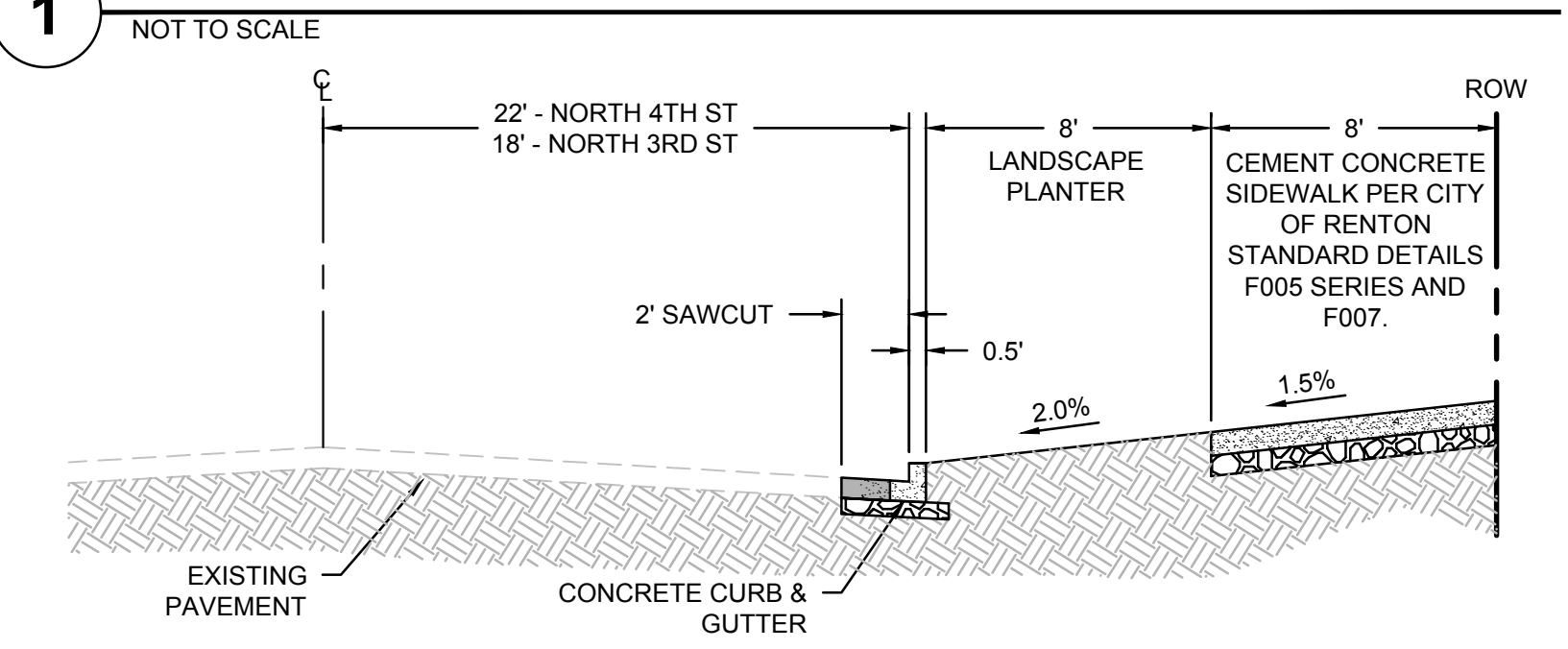
SURFACING LEGEND:

	HEAVY DUTY CONCRETE
	CONCRETE
	HEAVY DUTY ASPHALT
	STANDARD DUTY ASPHALT
	EXISTING ASPHALT PAVEMENT

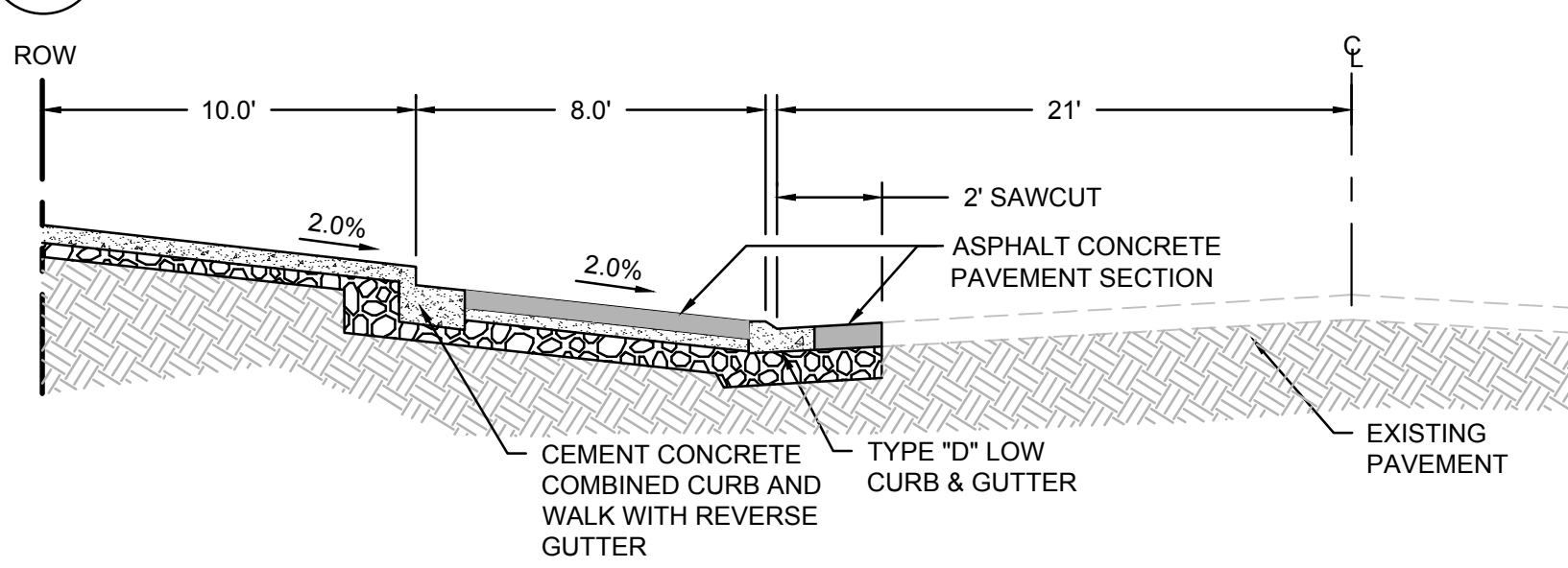
EXISTING/PROPOSED LAND USE			
LAND USE	EXISTING	PROPOSED (INCLUDING DEDICATION)	PROPOSED (WITHOUT DEDICATION, FOR SEPA CHECKLIST)
IMPERVIOUS	3.17	3.80	3.20
PERVIOUS	2.52	1.89	1.68
TOTAL	5.69	5.69	4.88



1 PARK AVENUE STREET SECTION



2 NORTH 4TH STREET AND NORTH 3RD STREET SECTIONS



3 GARDEN AVENUE NORTH SECTION

PROPOSED LEGEND:

	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	GATE VALVE MJ
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	WATER METER
	PIV
	SANITARY SEWER LINE
	WATER LINE
	FIRE SERVICE LINE
	IRRIGATION SERVICE LINE
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE

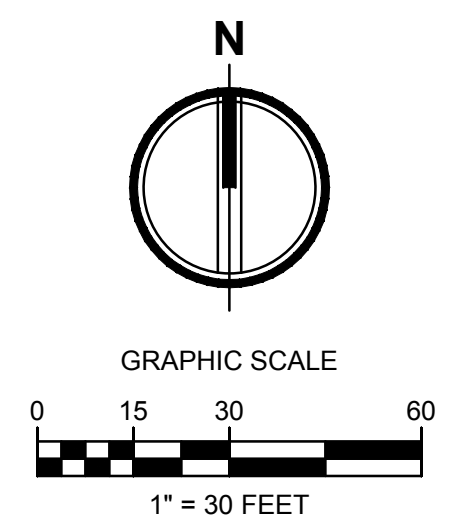


Exhibit 21

integrus ARCHITECTURE



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AHBL NO.: 2160339.10

Renton School District  
Sartori Elementary School  
315 Garden Avenue N, Renton WA 98057

Date:	8/24/16	
Job No.:	21607.00	
Drawn By:	F. KATONA	
Checked by:	W. FIERST	
Revisions		
#	Date	Description

CIVIL UTILITY AND SURFACING PLAN  
C2.00

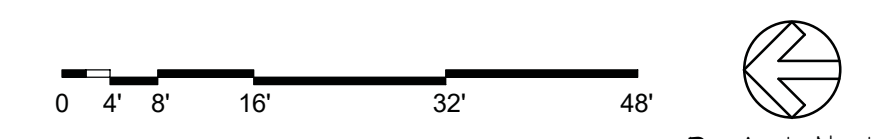
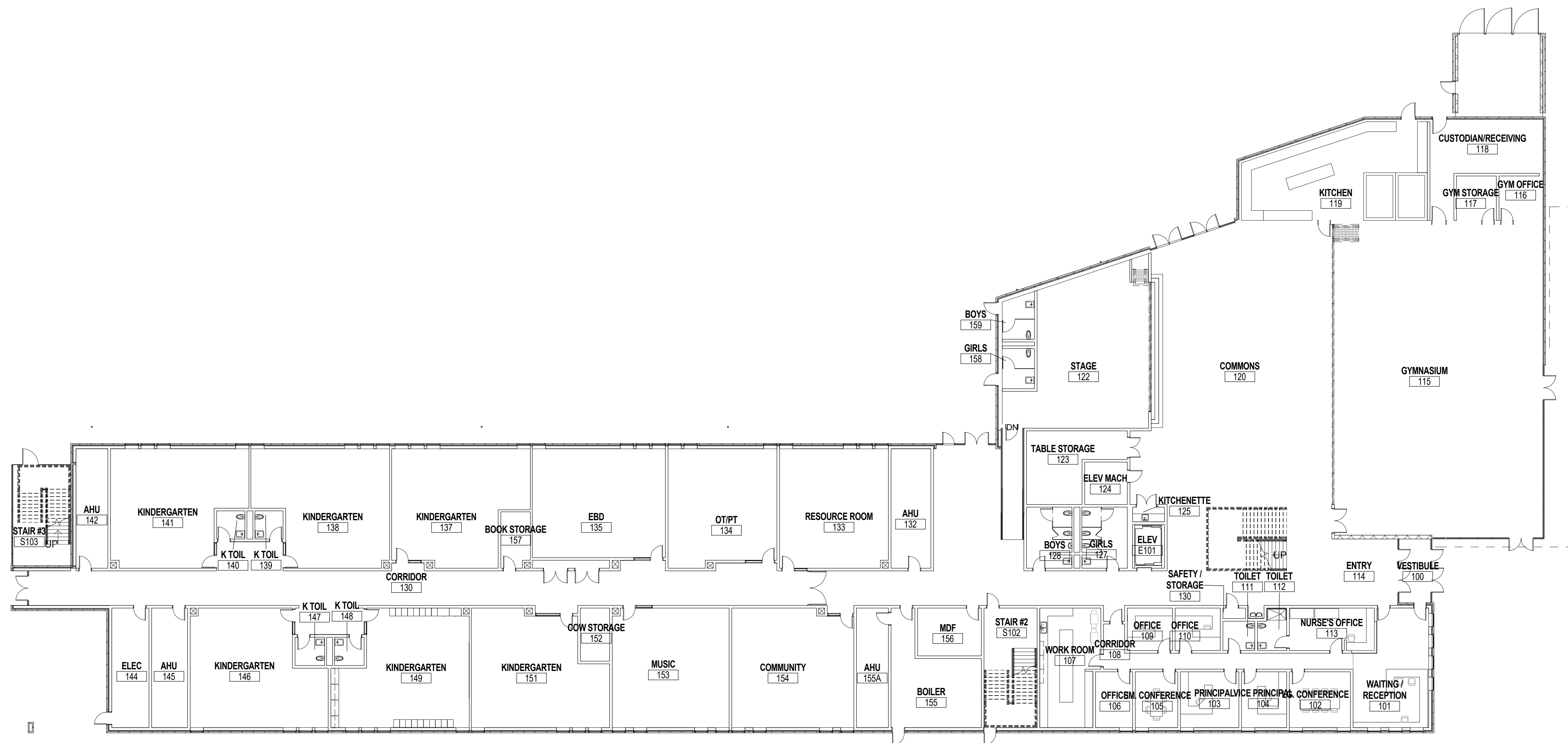
Design Development



***CITY OF RENTON, KING COUNTY, WASHINGTON.***

1 of 3 Sheets





1/16" = 1' - 0"

**Entire Document  
Available Upon  
Request**

**Exhibit 23**





BIRDSEYE VIEW FROM SOUTHWEST



VIEW FROM VISITOR PARKING

Note: These views intended to demonstrate design intent. Refer to submitted site plans for accurate site plan proposal.

  
Entire Document  
Available Upon  
Request

Exhibit 24



# ADVISORY NOTES TO APPLICANT

## LUA16-000692



**Application Date:** September 02, 2016  
**Name:** Sartori Elementary School

**Site Address:** 1212 N 3rd St  
Renton, WA 98057-5735

### PLAN - Planning Review - Land Use

Version 1 |

#### Police Plan Review Comments

**Contact:** Sandra Havlik | 425-430-7519 | SHavlik@Rentonwa.gov

Recommendations: POLICE RELATED COMMENTS

40 Police Calls for Service Estimated Annually

#### CONSTRUCTION PHASE

To protect materials and equipment it is recommended that all materials and tools be locked up when not in use. Toolboxes and storage containers should be secured with heavy duty padlocks and kept locked when not in use. The site will need security lighting and any construction trailer should be completely fenced in with portable chain link fencing. The fence will provide both a physical and psychological barrier to any prospective thief and will demonstrate that this area is private property. Construction trailers should be kept locked when not in use, and should also have a heavy duty deadbolt installed with no less than a 1 1/2" throw when bolted. Any construction material that contains copper should be removed from the construction site at the end of each working day. Glass windows in the trailer should be shatter resistant.

I also recommend the business post appropriate "No Trespassing" signs on the property while it's under construction. This will aid police in making arrests on the property after hours if suspects are observed vandalizing or stealing building materials. The use of off duty police officers or private security guards to patrol the site during the hours of darkness is also recommended.

#### COMPLETED BUILDING

It's important to direct all foot and vehicle traffic into the main entrance of the building; this should be monitored during hours of business by placing the school office in the main lobby area. This will assist with control of the pedestrian traffic in the building's public areas. Entrance through other exterior doors should be strictly prohibited. Rules should be posted in conspicuous location, letting visitors know they are to check in at the school's office immediately upon arrival.

All exterior doors should be made of solid metal or metal over wood, with heavy duty deadbolt locks, latch guards or pry resistant cylinders around the locks, and peepholes. All strikeplates should have 2 1/2 to 3" wood screws. If glass doors are used, they should be fitted with the hardware described above and additionally be fitted with a layer of security film. Security film can increase the strength of the glass by up to 300%, greatly reducing the likelihood of breaking glass to gain entry.

It is recommended that this building, and the individual offices inside, have monitored security alarms installed. There should be a plan set in place for lockdown procedures, as well, should an emergency occur. It's not uncommon for a school building to experience theft and/or vandalism during the hours of darkness, so it would also be recommended that an auxiliary security service be used to patrol the property during those times. Any alternative employee entrances should have coded access to prevent trespassing. Exterior doors should be checked routinely to insure they are not being propped open.

All areas of parking and pedestrian travel need to have adequate lighting. This will assist in the deterrent of theft from motor vehicle (one of the most common crimes in Renton) as well as provide safe pedestrian travel for students, employees and visitors.

Landscaping around the exterior of the buildings should not be too dense or high. It is important to allow visibility. Too much landscaping will give the building the look of a fortress and possibly give a burglar sufficient coverage to break into the buildings, especially during the hours of darkness.

Key for a school of this size is proper lighting and an abundance of signage. The public needs to be made aware at all times of what space is private and what space is public. Proper No Trespassing signs should be posted in conspicuous locations throughout the outside of the buildings (including parking areas) so enforcement action can be taken if needed.

I highly recommend that the developer have a Renton Police Crime Prevention Representative conduct a security survey of the premises once construction is complete.

#### Engineering Review Comments

**Contact:** Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

Recommendations: DEPARTMENT OF COMMUNITY  
AND ECONOMIC DEVELOPMENT

Exhibit  
25

**PLAN - Planning Review - Land Use**

Version 1 |

**Engineering Review Comments**

**Contact:** Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

**M E M O R A N D U M**

**DATE:** October 14, 2016

**TO:** Matt Herrera, Senior Planner

**FROM:** Ian Fitz James, Civil Plan Reviewer

**SUBJECT:** Utility and Transportation Comments for Sartori Elementary School – 315 Garden Avenue N.

LUA16 000692

I have reviewed the application for Sartori Elementary School located at 315 Garden Avenue N. and have the following comments.

**EXISTING CONDITIONS**

The site is approximately 5.28 acres and is rectangular in shape. The site contains the existing Sartori Education Center, a strip mall with a small grocery store and Mexican restaurant, numerous single family residences, and a few smaller commercial sites.

**WATER:** Water service is provided by the City of Renton. The site is in the Valley service area in the 196' hydraulic pressure zone. The approximate static water pressure is 68 psi at a ground elevation of 33 feet. Below is a summary of existing water mains located in streets surrounding the site:

- a. 12" Water Main (320 Zone) that can provide 5,400 gallons per minute (gpm) east of the site in Garden Avenue N. Reference COR Project File WTR2701111 In COR Maps.
- b. 6" Water Main (196 Zone) that can provide 1,300 gpm east of the site in Garden Avenue N. Reference COR Project File WTR2701156 in COR Maps.
- c. 8" Water Main that can provide 1,500 gpm north of the site in N. 4th Street. Reference COR Project File WTR2701156 in COR Maps.
- d. 16" Water Main that can provide 9,600 gpm west of the site in Park Avenue N. Reference COR Project File WTR2702208 in COR Maps.
- e. 8" Water Main in N. 3rd Street that can provide 2,000 gpm south of the site in N. 3rd Street. Reference Project File WTR2701021 in COR Maps.

Below is a summary of the existing fire hydrants in the vicinity of the site:

- a. At the NW corner of the site (COR Facility ID HYD N 00093)
- b. Across the street from the NE corner of the site (COR Facility ID HYD N 00092)
- c. Across the street from the northern project frontage (COR Facility ID HYD N 00308)
- d. Across the street from the SW corner of the site (COR Facility ID HYD N 00094)
- e. Along the southern project frontage (COR Facility ID HYD N 00291)
- f. Across the street from the SE corner of the site (COR Facility ID HYD N 00091)

The existing Sartori Education Center is served by a 1.5" domestic water meter (Account Number 010240). There are also numerous small meters serving the light commercial and residential lots surrounding the existing Sartori Education Center.

**SEWER:** Sewer service is provided by the City of Renton. There is an existing 22" concrete sewer running east to west in N. 4th Street north of the site. Reference Project File WWP2700513 in COR Maps for record drawings. There is also an existing 8" PVC sewer running from east to west and then south to north through the site and connecting to the existing 22" sewer in N. 4th Street. Reference Project File WWP2700513 in COR Maps for record drawings.

**STORM DRAINAGE:** The majority of the site is the site of the existing Sartori Education Center. The Sartori site contains a two story education center with an asphalt parking lot, grass fields, and lawn areas. The site is relatively flat and contains a private on site drainage



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**Engineering Review Comments**

**Contact:** Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

system in the parking lot. Drainage from the site is either collected by the on site drainage system, infiltrates, or sheet flows gradually off site. Drainage that is collected by the on site conveyance system is conveyed west to the public storm drainage system in Park Avenue N. Drainage that sheet flows off site to the north is intercepted by a type 1 catch basin along the southern flowline of N. 4th Street. Drainage from this catch basin is routed west by an existing 8" storm drain. Drainage that sheet flows off site to the northeast is intercepted by a type 1 catch basin located along the flowline near the intersection of N. 4th Street and Garden Avenue N. Drainage from this catch basin is routed north by an existing 6" storm drain.

There are also numerous light commercial and residential lots surrounding the existing Sartori Education Center to the west and south. These lots are also relatively flat and contain no on site drainage systems. Drainage from the existing lots west of the Sartori Education Center is intercepted by three type 1 catch basins located along the eastern flowline of Park Avenue N. Drainage from these catch basins is routed north by an existing 12" storm drain. Drainage from the existing lots south of the Sartori Education Center is intercepted by two type 1 catch basins located along the flowline near the intersection of Park Avenue N. and N. 3rd Street and Garden Avenue N. and N. 3rd Street. Drainage from these catch basins is routed west by an existing 12"/10" storm drain.

**STREETS:** The site is bounded by Park Avenue N. to the west, N. 4th Street to the north, N. 3rd Street to the south, and Garden Avenue N. to the east. Park Avenue N., N 4th Street, and N. 3rd Street are classified as principal arterials. Garden Avenue N. is classified as a residential access street. N. 3rd Street and Garden Avenue N. have a current right of way width of 60' along the project frontages. Park Avenue N. and N. 4th Street have varying right of way widths of at least 60' along the project frontages. The composition of the adjacent street sections are as follows:

- Park Avenue N. – 44' pavement width with two travel lanes in each direction (north and south). Concrete curbs and 8' sidewalks exist on each side of the street.
- N. 4th Street – 44' pavement width with three travel lanes in the western direction and one right turn lane. Concrete curbs and 6' sidewalks exist on each side of the street.
- N. 3rd Street – 30' pavement width with three lanes in the eastern direction. Concrete curbs and 5' sidewalks with planters exist on each side of the street.
- Garden Avenue N. – 40' pavement width with one travel lane in each direction (north and south) and on street parking on each side of the road. Concrete curbs and 6' sidewalks with planters exist on each side of the street.

**WATER COMMENTS**

1. Abandoned / removed water services shall be capped at the main in accordance with City standards.
2. The two existing hydrants along the project frontage shall be replaced with new hydrants located in the planter strip. One is located along the N. 3rd Street frontage and the other is located near the northwest corner of the site near the intersection of N. 4th Street and Park Avenue N.
3. A new hydrant served by an 8" main shall be provided in the western parking island north of the proposed building. The main serving the hydrant shall have an additional valve located in the parking island before the hydrant. The new hydrant and water main shall be located in a water utility easement.
4. The area where the proposed water services and vaults are located is very crowded. A blow up detail showing the proposed configuration of the connections is required for utility permit review. All required vaults and piping shall be shown to scale to ensure constructability. Locations of proposed water services and vaults shall also take into account the location of existing utilities. Below is a summary of the required water services for the proposed building:
  - a. A fire sprinkler stub with a double detector check assembly (DDCVA) in an exterior underground vault per COR Standard Plan 360.2 shall be installed for backflow prevention. The DDCVA may be installed inside the building if it meets the conditions as shown on COR Standard Plan 360.5 for the installation of a DDCVA inside a building.
  - b. A domestic water meter installation shall include a reduced pressure backflow assembly (RPBA) installed behind the meter and inside an above ground heated enclosure per COR Standard Plan 350.2. Domestic water meters larger than 3" shall be installed per COR Standard Plan 320.4. Meters larger than 3" require a 4" external bypass line with a post indicator valve per COR Standard Plan 320.4.
  - c. A separate meter is required for landscape irrigation. A double check valve assembly (DCVA) is required downstream of the meter. For services 2" and smaller, the DCVA shall be installed per COR Standard 340.8. A RPBA is not required for an irrigation meter. If right of way vegetation requires irrigation, a separate irrigation meter with a DCVA shall be provided.
5. Water improvements shall be designed in accordance with Appendix J of the City's 2012 Water System Plan. Adequate horizontal and

**PLAN - Planning Review - Land Use**

Version 1 |

**Engineering Review Comments**

**Contact:** Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

vertical separation between the new water main and other existing and proposed utilities (sewer lines, storm drains, gas lines, power and communication ducts) shall be provided for the operation and maintenance of the water main. Retaining walls, rockeries, or similar structures cannot be installed over the water main unless the water main is installed inside of a steel casing.

6. The development is subject to applicable water system development charges (SDCs) and meter installation fees based on the number and size of the meters for domestic use and fire prevention. Meters greater than 2" will be charged a \$220.00 processing fee and the contractor will provide the meter and install it. A system development fee credit will be issued for any existing meters being abandoned. The full water fee schedule can be found in the City's 2016 development fees document on the City's website.

**SEWER COMMENTS**

1. The proposed location of the school building conflicts with the location of the on site 8" sewer. The sewer and services connected to the sewer shall be removed and/or abandoned as necessary for construction of the building.

2. The site plan indicates that the new school will connect to the existing 8" sewer main that is not removed for construction of the building. The connection of new main to the old main is proposed to occur at an existing manhole (COR Facility ID MH1988) in the new parking lot north of the new building. This provides an acceptable wastewater route for wastewater discharge from the new school.

3. The proposed sewer easement shall end south of the existing manhole that is serving as the point of connection for the new building sewer line (COR Facility ID MH1988). All new sewer main and side sewers shall be privately maintained.

4. Release of any existing sewer easements will be reviewed during utility permit review.

5. The development is subject to applicable sewer system development charges (SDCs) for sewer service. The SDC for sewer service is based on the size of the domestic water service. A system development fee credit will be issued for any existing sewer service being abandoned. The full sewer fee schedule can be found in the City's 2016 development fees document on the City's website.

**STORM DRAINAGE COMMENTS**

1. Effective January 2, 2017, the City of Renton will be adopting a new stormwater manual which will be based on the 2016 King County Surface Water Design Manual. All projects vested after January 2, 2017 will be subject to these new stormwater requirements. Please refer to RMC 4 1 045 for information regarding project vesting.

2. A Preliminary Drainage Plan and Technical Information Report (TIR) completed by AHBL were submitted to the City on September 2, 2016. The site drainage area including offsite areas is approximately 5.67 acres. The site drainage area under existing conditions contains approximately 3.17 acres of impervious area and the site drainage area under proposed conditions contains approximately 4.08 acres of impervious area. The site is relatively flat and has three separate discharge locations. Each discharge location is part of a separate threshold discharge area (TDA). Each discharge location will be maintained in the proposed condition. The site is located in the Lower Cedar River drainage basin and in Zone 1 of an Aquifer Protection Zone.

The site is located in the City's Peak Rate Flow Control Standard (Existing Conditions). Per the preliminary TIR and KCRTS model prepared by AHBL, the project proposed to meet the flow control facility requirement using three detention pipes. There will be one detention pipe for each basin. All proposed detention pipes will be private facilities. Due to the site's flat topography and shallow existing storm system, an in depth review will be conducted of all stormwater detention facilities and conveyance systems to ensure proper function and to examine the effects of backwater on the detention facilities during utility permit review.

Six Filterra stormwater filtration systems are proposed to meet the enhanced basic water quality treatment standards. Flow control BMPS, ponds, stormwater wetlands, and infiltration facilities are prohibited as the site is located in Zone 1 of an Aquifer Protection Zone.

All core and special requirements are to be addressed in the final TIR.

3. The project site is located within one half mile of the Cedar River which is classified as a major receiving water. This project may qualify for the Direct Discharge Exemption from the Flow Control Facility requirement if all criteria in Section 1.2.3 of the City amended 2009 KCSWDM are met.

4. Drainage improvements along all frontages will be required to conform to the City's street standards. Catch basin spacing along all street frontages shall conform to the standards found in Section 4.2.1.1. Additional catch basins or inlets may be required to conform to these standards.

5. A geotechnical report prepared by Associated Earth Sciences Incorporated dated August 4, 2016 was submitted.

6. The development would be subject to stormwater system development charges (SDCs). The current SDCs are \$0.594 per square foot

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**Engineering Review Comments**

**Contact:** Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

of new impervious surface area, but not less than \$1,485.00. A system development fee credit will apply for the existing single family residential lots. Fees are payable at the time of permit issuance.

**TRANSPORTATION/STREET COMMENTS**

1. The current transportation impact fee is \$2.00 per square foot of building. Fees are payable at the time of permit issuance. A transportation impact fee credit will apply for the existing education facility, single family residential lots, and light commercial lots.

2. N. 3rd Street, N. 4th Street, and Park Avenue N. are classified as principal arterials. Garden Avenue N. is classified as a residential access street. City staff is recommending street sections that differ from the City's street standards found in RMC 4 6 060. A summary of the required street frontage improvements requested can be found below.

a. The existing curb line shall remain in place along Park Avenue N. An 8' planter shall be located behind the curb and a 12' sidewalk shall be located behind the planter. Right of way dedication along Park Avenue N. will be required to the back of the 12' sidewalk.

b. The existing curb line shall remain in place along N. 3rd Street and N. 4th Street. An 8' planter shall be located behind the curb and an 8' sidewalk shall be located behind the planter along these streets. Right of way dedication along N. 3rd Street and N. 4th Street will be required to the back of the 8' sidewalk.

c. The existing curb line shall remain in place along Garden Avenue N. The proposed curb bulbs at the corners of N. 3rd Street and Garden Avenue N. and N. 4th Street and Garden Avenue N. are required with the original curb line remaining in place. The curb bulb at the corner of N. 3rd Street and Garden Avenue N. adjacent to the site shall extend for the entirety of the curb return. The addition of curb bulbs will allow for a 13' southbound travel lane on Garden Avenue N. and an 8' bus parking lane. City curb bulb design standards shall be met. The depressed curb between the bus parking lane and southbound travel lane on Garden Avenue N. shall meet the City standards for a cement concrete valley curb. A 12' sidewalk will be required directly behind the curb. Right of way dedication along Garden Avenue N. will be required to the back of the 12' sidewalk.

d. Companion curb bulbs along the eastern frontage of Garden Avenue N. are required at the intersections of N. 3rd Street and N. 4th Street. These curb bulbs should only extend in the western direction to shorten the crossing distance across Garden Avenue N. No curb bulb extension north into N. 4th Street or south into N. 3rd Street is required. City curb bulb design standards shall be met.

e. A curb bulb at the corner of N. 3rd Street and Park Avenue N. adjacent to the site shall extend south into N. 3rd Street. The curb bulb shall not extend west into Park Avenue N. When coupled with the required curb bulb along the entirety of the curb return at the intersection of N. 3rd Street and Garden Avenue N. (described in comment 2.c), on street parking along the northern frontage of N. 3rd Street adjacent to the site will be created. City curb bulb design standards shall be met.

f. The curb radius at all intersections shall be 35'. Appropriate right of way dedication at each corner is required to accommodate the curb radius.

g. Perpendicular curb ramps conforming to current ADA and WSDOT standards will be required at each corner. Curb ramps shall be perpendicular to the roadway centerline. Two curb ramps are required at each corner.

The project shall comply to the City of Renton Americans with Disabilities Act Transition Plan adopted May 18, 2015. Required curb ramp improvements at each intersection will be evaluated to determine if additional improvements such as accessible pedestrian signals (APS) are required. Companion curb ramps across from the project site are required to be brought up to current ADA standards.

h. The existing curb along all frontages shall be replaced with a new curb that meets City standards.

i. Proposed access points to the site are acceptable.

j. No on street parking will be permitted along N. 4th Street or Park Avenue N.

k. Current channelization on N. 4th Street, Park Avenue N., and Garden Avenue N. shall remain. The far left lane on N. 3rd Street shall be a left turn only lane west of the intersection with Park Avenue N. Signal and sign modifications shall be made as necessary to ensure that the new traffic pattern with the far left lane being left only is correctly implemented. The proposed change in N. 3rd Street channelization will allow for on street parking on the north side of N. 3rd Street adjacent to the site.

l. All existing manholes, handholes, and other utility covers within public sidewalks shall be brought up to current ADA standards.

3. A draft traffic impact analysis (TIA) prepared by Heffron Transportation was submitted for the project. The TIA evaluated traffic operations at the four intersections adjacent to the site at the request of the City plan reviewer and Transportation department. The



**PLAN - Planning Review - Land Use**

Version 1 |

**Engineering Review Comments**

**Contact:** Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

intersections evaluated were N. 4th Street and Park Avenue N., N. 4th Street and Garden Avenue N., N. 3rd Street and Park Avenue N., and N. 3rd Street and Garden Avenue N.

To analyze the intersections, vehicle turning movements were conducted at the four study intersections on Thursday May 19, 2016 by Idax Data Solutions. Traffic counts were taken for the morning and afternoon peak periods. Heffron use the traffic counts to forecast traffic volumes in 2018 when the project will be complete. Heffron determined that all four study intersections operate at Level of Service C or better and will continue to operate at Level of Service C or better in 2018 without the project.

Heffron estimated vehicle trips generated by the project using the proposed land use from the 9th Edition of the Trip Generation Manual published by the Institute of Transportation Engineers (ITE). Level of Service at the four study intersections was evaluated using 2018 conditions without the project and 2018 conditions with the project. Heffron determined that all four study intersections will operate at the same Level of Service in 2018 with or without the project.

Heffron evaluated on site queuing in the morning drop off period and the afternoon pick up period. The morning arrival queue was modeled using Poisson arrival methodologies and assumptions from queuing data collection at Bellevue School District. The report concludes that the estimated morning arrival queue will be accommodated on site. The afternoon arrival queue was modeled using data collected on March 15th and October 15th, 2015 from Cherry Crest Elementary School in Bellevue. Cherry Crest Elementary is similar in student and staff sizes to the proposed school and has a similar number of parking stalls to the proposed school. The report concludes that the afternoon queues could exceed the demand of the north parking lot / load and unload loop. The report suggests that access management measures could be implemented to prevent queues from adversely impacting traffic flow on N. 4th Street.

Heffron evaluated on site parking for both a typical school day and evening event. Typical school day parking demand was determined using data from several Seattle elementary schools and ITE employee based parking generation rates for middle schools. The ITE does not provide employee based parking generation rates for elementary schools. The report concludes that the on site parking supply can accommodate typical midday parking demand. For evening events, Heffron evaluated use of all possible on site parking, the bus parking area, on street parking within 400 feet of the site, and the Renton School District Transportation Facility which is located across N. 4th Street from the site. The report concludes that parking for an attendance of 675 to 790 persons can be accommodated by the evaluated parking facilities.

Lastly, Heffron evaluated traffic safety and non motorized transportation facilities. The report concludes that the project will not result in any significant adverse safety impacts. The report suggests additional channelization markings on N. 4th Street near the parking lot entrance may be beneficial. The report acknowledges that an increase in pedestrian traffic activity in the vicinity of the site will occur with this project. The report suggests implementing school speed zones and accompanying signage, along with a walk routes, crosswalk locations, and crossing guard locations.

4. A final signed traffic impact analysis shall be provided prior to utility permit submittal.
5. Street lighting analysis is required to be conducted by the developer along all street frontages. Required street lighting shall be to City of Renton standards. Street lighting was not included with the site plan submittal.
6. Paving and trench restoration within the City of Renton right of way shall comply with the City's Restoration and Overlay requirements.

**GENERAL COMMENTS**

1. The SDCs listed are for 2016. The fees that are current at the time of the utility permit application will be levied. Please see the City of Renton website for current SDCs.
2. Storm drainage detention vaults and retaining walls that are 4' or taller from bottom of footing will require a separate building permit. Structural calculations and plans prepared by a licensed engineer will be required.
3. The survey and all civil plans shall conform to the current City of Renton survey and drafting standards. Current drafting standards can be found on the City of Renton website.
4. A final survey that is stamped and signed by the professional land surveyor of record will need to be provided. All existing utilities need to be surveyed and shown. Please reference COR Maps for mapping and records of existing utilities in the project vicinity.
5. Separate plan submittals will be required for construction permits for utility work and street improvements. All plans shall be prepared by a licensed Civil Engineer in the State of Washington.
6. When utility plans are complete, please submit four (4) copies of the plans, two (2) copies of the drainage report, an electronic copy of each, the permit application, an itemized cost of construction estimate, and application fee to the counter on the sixth floor.

**PLAN - Planning Review - Land Use**

Version 1 |

**Technical Services Comments**

**Contact:** Amanda Askren | 425-430-7369 | aaskren@rentonwa.gov

Recommendations: Legals and exhibits were provided for what appears to be ROW dedications. If this is the case, the Deed of Dedication forms will need to be prepared along with the legal and exhibit and the REETA forms for the dedication areas for review.

Lot Combination Form was reviewed as submitted. Form will need to be filled out for review with appropriate call outs for the provided exhibits.

**Building Review - Planning Comments**

**Contact:** Craig Burnell | 425-430-7290 | cburnell@rentonwa.gov

Recommendations: Recommendations of the Geotechnical report must be followed. Update the geotechnical report to the 2015 IBC.

**Planning Review Comments**

**Contact:** Matt Herrera | 425-430-6593 | mherrera@rentonwa.gov

Recommendations: 1. RMC section 4 4 030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division.

2. Commercial, multi family, new single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays.

3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.

4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.

5. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained.

6. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING – Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees.

7. This permit is shall comply with the Bald and Golden Eagle Protection Act. The permitted is responsible for adhering to the U.S. Fish and Wildlife Service National Bald Eagle Management Guidelines (2007) and /or your U.S. Fish and Wildlife Service permit.

**Fire Review - Building Comments**

**Contact:** Corey Thomas | 425-430-7024 | cthomas@rentonrfa.org

Recommendations: Environmental Impact Statement:

1. Fire impact fees are currently applicable at the rate of \$0.45 per square foot of increased building area. This fee is paid at time of building permit issuance. Credit will be granted to the square footage of educational/retail buildings demolished/removed on this site.

Code Related Comments:

1. The preliminary fire flow is 2,000 gpm. A minimum of two fire hydrants are required. One within 150 feet and one within 300 feet of the building. Building shall also meet maximum hydrant spacing of 300 feet on center. One hydrant shall be within 50 feet of the fire department connection for the fire sprinkler and standpipe systems. Any existing hydrants used to satisfy the requirements shall meet current fire code including 5 inch storz fittings.

2. Approved fire sprinkler, standpipe, kitchen hood and fire alarm systems are required throughout the building. Separate plans and permits required by the fire department. Direct outside access is required to the fire sprinkler riser rooms. Fully addressable and full detection is required for all fire alarm systems.

3. Fire department apparatus access roadways are required within 150 feet of all points on the building. Fire lane signage required for the on site roadway. Required turning radius are 25 feet inside and 45 feet outside. Roadways shall be a minimum of 20 feet wide. Roadways shall support a minimum of a 30 ton vehicle and 75 psi point loading.

4. The building shall comply with the City of Renton Emergency Radio Coverage ordinance. Testing shall verify both incoming and outgoing minimum emergency radio signal coverage. If inadequate, the building shall be enhanced with amplification equipment in order to meet minimum coverage. Separate plans and permits are required for any proposed amplification systems.

5. Separate plans and permits for any removal of existing tanks and installation of any new tanks.



PLAN - Planning Review - Land Use

Version 1 | October 31, 2016

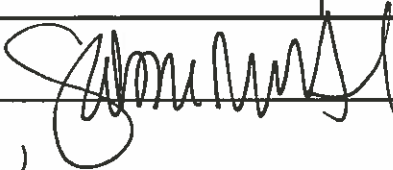
<b>Engineering Review Comments</b>	<b>Contact:</b> Brianne Bannwarth   425-430-7299   <a href="mailto:bbannwarth@rentonwa.gov">bbannwarth@rentonwa.gov</a>
Recommendations: Transportation Concurrency Test has been performed and the project has passed. See Transportation Concurrency Test Memo dated October 31, 2016 in the project file.	



**CITY OF RENTON**  
**DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT - PLANNING DIVISION**  
**AFFIDAVIT OF SERVICE BY MAILING**

On the 14th day of September, 2016, I deposited in the mails of the United States, a sealed envelope containing **Notice of Application and Acceptance** documents. This information was sent to:

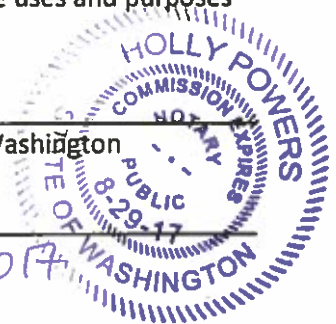
Name	Representing
Lisa Klein, AHBL	Applicant
Renton School District #403	Owner
300 Surrounding Property Owners	See Attached
Parties of Record	See Attached

(Signature of Sender):   
STATE OF WASHINGTON )  
) SS  
COUNTY OF KING )

I certify that I know or have satisfactory evidence that **Sabrina Mirante** signed this instrument and acknowledged it to be his/her/their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: September 14, 2016 Holly Powers  
Notary Public in and for the State of Washington

Notary (Print): Holly Powers  
My appointment expires: August 29, 2017



<b>Project Name:</b>	New Sartori Elementary School
<b>Project Number:</b>	LUA16-000692, CU-H, PUD

North Renton Neighborhood  
Association  
PO Box 326  
Renton, WA 98057

Debbie Natelson  
218 Burnett Ave N, Unit B  
Renton, WA 98057

Genie Chase  
227 Wells Ave N  
Renton, WA 98057

Jessica Roach  
132 Pelly Ave N  
Renton, WA 98057

Kathleen Booher  
809 N 2nd St  
Renton, WA 98057

Lisa Klein  
AHBL  
2215 N 30th St, 300  
Tacoma, WA

Nancy Monahan  
325 Meadow Ave N  
Renton, WA 98057

Neil Sheesley  
809 N 2nd St  
Renton, WA 98057

Pamela Thomas  
341 Meadow Ave N  
Renton, WA 98057

Paul Rolinger  
218 Burnett Ave N, Unit B  
Renton, WA 98057

Rick Stracke  
Renton School District No. 403  
7812 S 124th St  
Seattle, WA 98178

Rochelle Krebs  
121 Wells Ave N  
Renton, WA 98057

Sarah & Tim Bishop  
222 Burnett Ave N  
Renton, WA 98057

Scott Rice  
345 Meadow Ave N  
Renton, WA 98057

Wyman Dobson  
821 N 1st St  
Renton, WA 98057



7224000470  
337 PARK AVE LLC  
22609 SE 4TH ST  
SAMMAMISH, WA 98074

1352300330  
ANLIKER PAUL G  
335 MEADOW AVE N  
RENTON, WA 98057

1352300355  
AU LAM D  
1522 E SPRUCE ST  
SEATTLE, WA 98122

1352300280  
AUSTIN MARK+LYNN  
5401 LAKE LENGLEIS RD NE  
CARNATION, WA 98014

7224000280  
BADISSY ZINE+NAJIBA  
4909 119TH PL NE  
KIRKLAND, WA 98033

1352300290  
Current Resident  
21326 5TH AVE S  
DES MOINES, WA 98198

1352300370  
Current Resident  
1314 N 3rd St  
Renton, WA 98057

1352300370  
Current Resident  
1308 N 3rd St  
Renton, WA 98057

1352300360  
Current Resident  
311 Meadow Ave N  
Renton, WA 98057

1352300290  
Current Resident  
300 Garden Ave N UNIT A  
Renton, WA 98057

1352300365  
Current Resident  
305 Meadow Ave N  
Renton, WA 98057

7224000251  
CHEN YU FAN VINCENT  
228 PARK AVE N  
RENTON, WA 98057

1352300160  
CHENOWETH MICHAEL C  
243 MEADOW AVE N  
RENTON, WA 98055

1352300310  
CHODYKIN JOSEPH R  
347 MEADOW AVE N  
RENTON, WA 98057

7224000360  
CHUCHILL BRETT J+JO M  
18624 114TH AVE SE  
RENTON, WA 98055

7224000595  
COLEE JEFFREY J  
330 PARK AVE N  
RENTON, WA 98057

7224000270  
CURENT TENANT  
250 Park Ave N APT 2  
Renton, WA 98057

7224000280  
CURENT TENANT  
250 Park Ave N APT 1  
Renton, WA 98057

7224000275  
CURENT TENANT  
248 Park Ave N  
Renton, WA 98057

1352300370  
CURRENT TENANT  
1310 N 3rd St  
Renton, WA 98057

1352300290  
CURRENT TENANT  
1304 N 3rd St  
Renton, WA 98057

1352300290  
CURRENT TENANT  
300 Garden Ave N UNIT B  
Renton, WA 98057

7224000455  
CURRENT TENANT  
329 Park Ave N  
Renton, WA 98057

7564600196  
CURRENT TENANT  
1211 N 3rd St APT A  
Renton, WA 98057

7564600196  
CURRENT TENANT  
1211 N 3rd St APT B  
Renton, WA 98057

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CURRENT TENANT  
310 Pelly Ave N  
Renton, WA 98057

7224000545  
CURRENT TENANT  
308 Pelly Ave N APT A  
Renton, WA 98057

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CURRENT TENANT  
308 Pelly Ave N APT B  
Renton, WA 98057

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CURRENT TENANT  
246 Garden Ave N  
Renton, WA 98057

1352300095  
CURRENT TENANT  
240 Garden Ave N  
Renton, WA 98057

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CURRENT TENANT  
316 Pelly Ave N  
Renton, WA 98057

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314 Pelly Ave N  
Renton, WA 98057

7564600210  
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247 Garden Ave N APT 2  
Renton, WA 98057

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247 Garden Ave N APT 6  
Renton, WA 98057

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Renton, WA 98057

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CURRENT TENANT  
249 Garden Ave N  
Renton, WA 98057

1352300350  
CURRENT TENANT  
319 Meadow Ave N  
Renton, WA 98057

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CURRENT TENANT  
340 Park Ave N  
Renton, WA 98057

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CURRENT TENANT  
350 Park Ave N  
Renton, WA 98057

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CURRENT TENANT  
300 SW 7TH ST  
RENTON, WA 98055

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CURRENT TENANT  
314 Park Ave N UNIT B  
Renton, WA 98057

7564600182  
CURRENT TENANT  
1212 N 3rd St  
Renton, WA 98057

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CURRENT TENANT  
326 Park Ave N  
Renton, WA 98057

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CURRENT TENANT  
303 Garden Ave N  
Renton, WA 98057

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CURRENT TENANT  
1206 N 3rd St  
Renton, WA 98057

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346 Park Ave N  
Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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CURRENT TENANT  
1204 N 3rd St  
Renton, WA 98057

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CURRENT TENANT  
321 Meadow Ave N  
Renton, WA 98057

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CURRENT TENANT  
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Renton, WA 98057

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303 Park Ave N APT B  
Renton, WA 98057

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301 Park Ave N APT 3  
Renton, WA 98057

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Renton, WA 98057

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303 Park Ave N APT J  
Renton, WA 98057



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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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303 Park Ave N APT F  
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301 Park Ave N APT 5  
Renton, WA 98057

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301 Park Ave N APT 1  
Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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Renton, WA 98057

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CURRENT TENANT  
250 Pelly Ave N  
Renton, WA 98057

1352300170  
CURRENT TENANT  
235 Meadow Ave N  
Renton, WA 98057

1352300170  
CURRENT TENANT  
239 Meadow Ave N  
Renton, WA 98057

1352300165  
CURRENT TENANT  
13921 56TH AVE S  
TUKWILA, WA 98168

7224000820  
CURRENT TENANT  
1002 N 4th St  
Renton, WA 98057

7224000820  
CURRENT TENANT  
1004 N 4th St  
Renton, WA 98057

1352300245  
DENG MINNING  
7155 SE 24TH ST  
MERCER ISLAND, WA 98040

7224000515  
DERRY LUELLA H  
332 PELLY AVE  
RENTON, WA 98057

7224000460  
DOBSON WYMAN K  
PO BOX 59  
RENTON, WA 98057

7224000265  
DOMINGUEZ HENRY  
PO BOX 6502  
KENT, WA 98064

1352300325  
DREEWES SHERELYN  
339 MEADOW AV N  
RENTON, WA 98055

7224000805  
DUNLAP LINDA M+TRAVIS J  
412 PELLY AV N  
RENTON, WA 98055

1352300300  
EHLKE DAWN A  
353 MEADOW AVE N  
RENTON, WA 98057

1352300155  
EHRlich STEVEN F  
245 MEADOW AVE N  
RENTON, WA 98057

1352300235  
FETTEROLF DAVID W  
338 GARDEN AVE N  
RENTON, WA 98055

7564600195  
FILLEy CATHERINE+KACHUCK JO  
1207 N 3RD ST  
RENTON, WA 98057

1352300100  
FISHER  
16121 182ND AVE SE  
RENTON, WA 98058

1352300285  
FUNKHOUSER KIZZIE+NATHAN  
304 Garden Ave N  
Renton, WA 98057

1352300085  
FUNKHOUSER NATHAN K+KIZZIE  
248 GARDEN AVE N  
RENTON, WA 98057

1352300110  
GARCIA ARLINDA R+GUBBELS CH  
230 GARDEN AVE N  
RENTON, WA 98057

7564600197  
GARCIA EDGAR P  
106 140TH PL NE  
BELLEVUE, WA 98007

7564600230  
GENTELE WILLIAM+AMY  
235 GARDEN AVE N  
RENTON, WA 98057

1352300215  
GOETZ MATTHEW M  
356 GARDEN AV N  
RENTON, WA 98055

7224000325  
GRAHAM CHERYL  
33526 18TH AVE S  
FEDERAL WAY, WA 98003

7564600196  
HAHN MARK W  
4108 MIDVALE AVE N  
SEATTLE, WA 98103

1352300220  
HAMMILL L NICOLE  
350 GARDEN AVE N  
RENTON, WA 98055

1352300255  
HAYES DOLORES M  
326 GARDEN AV N  
RENTON, WA 98055

7564600240  
HISEY JOHN A  
231 GARDEN AVE N  
RENTON, WA 98055

7224000545  
HOVSEPIAN CONNOR  
4344 90TH AVE SE  
MERCER ISLAND, WA 98040

7224000340  
HUANG YUNG-CHIANG & SU-LING  
247 Park Ave N  
Renton, WA 98057

7224000340  
HUANG YUNG-CHIANG & SU-LING  
249 Park Ave N  
Renton, WA 98057

7224000330  
HUANG YUNG-CHIANG & SU-LING  
10748 15TH AVE NE  
SEATTLE, WA 98125

7224000695  
J & S EVERGREEN INVESTMENT  
5616 173RD AVE SE  
BELLEVUE, WA 98006

1352300335  
JAHN JAMES R+MARIE  
1608 1ST AVE W  
SEATTLE, WA 98119

7564600203  
KING COUNTY-PROPERTY SVCS  
500 4TH AVE  
SEATTLE, WA 98004

7224000320  
LAI YING-FANG  
229 Park Ave N APT B  
Renton, WA 98057

7224000320  
LAI YING-FANG  
229 Park Ave N APT A  
Renton, WA 98057

7224000525  
LAIGO LLOYD T  
3704 S DAKOTA ST  
SEATTLE, WA 98118

7224000526  
LAIGO LLOYD T  
326 Pelly Ave N  
Renton, WA 98057

1352300315  
LANE STEVEN B+RICE SCOTT SH  
345 MEADOW AVE N  
RENTON, WA 98057

1352300275  
LAULAINEN FRANS A  
314 GARDEN AVE N  
RENTON, WA 98055



7564600235  
MALPHRUS THOMAS H  
18713 102ND AVE SE  
RENTON, WA 98055

7564600235  
MALPHRUS THOMAS H  
230 Park Pl N  
Renton, WA 98057

7224000365  
MITTON JEREMY D  
238 PELLY AVE N  
RENTON, WA 98057

7224000450  
MOLAVI AMIR TAGHI+KANGARLOO  
2932 277TH TERR SE  
SAMMAMISH, WA 98075

7224000450  
MOLAVI AMIR TAGHI+KANGARLOO  
323 Park Ave N  
Renton, WA 98057

7224000605  
MONACO LLC  
336 PARK AVE N  
RENTON, WA 98057

1352300340  
MONAHAN NANCYMONAHAN NANCY  
325 MEADOW AVE N  
RENTON, WA 98057

1352300090  
MUDD GARY R  
18624 SE 213TH ST  
RENTON, WA 98058

7224000490  
MY DREAM LLC  
24451 SE 48TH PL  
ISSAQUAH, WA 98029

7224000720  
NGUYEN PHONG THANH  
1503 MANGRUM ST  
PFLUGERVILLE, TX 78660

7224000535  
NGUYEN TRINH CUU  
1401 EDMONDS AVE NE  
RENTON, WA 98056

1352300295  
NGUYEN VINH+PHAM THI MY HAN  
359 MEADOW AVE N  
RENTON, WA 98055

7224000475  
NORGEL LLC  
27420 236TH PL SE  
MAPLE VALLEY, WA 98038

7223000010  
PACCAR INC  
PO BOX 1518  
BELLEVUE, WA 98009

7564600210  
PAPINI CARLO & ANGELA  
12912 SE 191ST ST  
RENTON, WA 98058

1352300350  
PETERSON CHARLES AARON  
507 WELLS AV N  
RENTON, WA 98055

1352300250  
POQUETTE ROGER L+JUDITH A  
328 Garden Ave N  
Renton, WA 98057

7564600105  
RENTON SCHOOL DIST  
300 SW 7TH ST  
RENTON, WA 98055

7564600220  
ROSEN DYLAN  
1201 1/2 N 3RD ST  
RENTON, WA 98057

1352300240  
SANDERS MATTHEW R+AYA  
336 GARDEN AVE N  
RENTON, WA 98057

7224000550  
SCHMULAND FAMILY IRREVOCABL  
8723 142ND AVE NE  
REDMOND, WA 98052

1352300345  
SCHULTZ NORMAN M  
7634 S SUNNYCREST RD  
SEATTLE, WA 98178

1352300150  
SEDGEMORE JEFF G  
251 MEADOW AVE N  
RENTON, WA 98055

1352300150  
SEDGEMORE JEFF G  
251 Meadow Ave N APT B  
Renton, WA 98057

7224000440  
SHARAM FAMILY TRUST II  
PO BOX 2401  
KIRKLAND, WA 98083

7224000425  
SHARAM FAMILY TRUST II  
PO BOX 2401  
KIRKLAND, WA 98083

7224000425  
SHARAM FAMILY TRUST II  
PO BOX 2401  
KIRKLAND, WA 98083

7564600180  
SMITH GREGG  
6208 HAZELWOOD LN  
BELLEVUE, WA 98006

7224000355  
SMITH JOHN F+SHARON L  
12216 164TH AVE SE  
RENTON, WA 98059

7224000350  
SMITH JOHN F+SHARON L  
1005 N 3rd St  
Renton, WA 98057

7224000350  
SMITH JOHN F+SHARON L  
1007 N 3rd St  
Renton, WA 98057

7224000810  
SPREDER GARY M II+KURILUK L  
410 PELLY AV N  
RENTON, WA 98057

1352300265  
STOUDT TIMOTHY W+JENNIFER M  
318 GARDEN AVE N  
RENTON, WA 98057

7224000260  
TANG QUAN F+JIN E LIU  
232 PARK AV N  
RENTON, WA 98055

7224000510  
TERRY TIMOTHY M & NANCY A  
338 PELLY AVE N  
RENTON, WA 98055

7224000465  
THANH TRAN  
9306 48TH AVE S  
SEATTLE, WA 98118

7224000520  
THOMAS MARK K  
330 PELLY AVE N  
RENTON, WA 98057

1352300320  
THOMAS PAMELA S  
341 MEADOW AV N  
RENTON, WA 98055

1352300105  
TWIDT BRIAN D+MARY  
234 GARDEN AVE N  
RENTON, WA 98057

7224000495  
ULRICH SAMSON  
346 PELLY AV N  
RENTON, WA 98055

1352300225  
VAN DYKE JERRY+KELLY  
346 GARDEN AVE N  
RENTON, WA 98055

7224000815  
VANDIVER MARY ANN  
406 PELLY AVE N  
RENTON, WA 98057

7224000530  
WAKMAN LORI TAYLOR  
322 PELLY AVE N  
RENTON, WA 98057

1352300170  
WERLE LARRY  
4212 ANKAR PARK DRIVE #146  
BELLINGHAM, WA 98226

7224000505  
WHITE STAR INVESTMENTS LLC  
PO BOX 6008  
SAINT JOSEPH, MO 64506

7564600225  
WOO ANITA T  
12906 NE 25TH PL  
BELLEVUE, WA 98005

7224000820  
YANG ANDREWLA N  
502 S TOBIN ST  
RENTON, WA 98057



# NOTICE OF APPLICATION

A Master Application has been filed and accepted with the Department of Community & Economic Development (CED) - Planning Division of the City of Renton. The following briefly describes the application and the necessary Public Approvals.

DATE OF NOTICE OF APPLICATION: September 14, 2016

PROJECT NAME/NUMBER: New Sartori Elementary School / LU16-00082, CU-H, PUD

**PROJECT DESCRIPTION:** The Renton School District (applicant) has submitted applications for Hearing Examiner Planned Urban Development, Hearing Examiner Conditional Use Permit, and Lot Combination approvals for the construction of a new 3-story 79,000 square foot Sartori Elementary School. The subject property consists of 14 contiguous parcels that are bounded by Park Ave N, Garden Ave N, N 4th St., and N 3rd St. The 5.28 acre subject property is an entire block located within the Residential-R (R-8), R-10, Commercial Neighborhood (CN), and Commercial Arterial (CA) zoning designations. The existing Sartori Education Center and surrounding residential and commercial structures have been or will be demolished. The Renton School District is the lead agency for State Environmental Policy Act (SEPA) Review. The City's mapping database has identified the subject property is within the Wetland Protection Zone 1 and potential seismic hazard area.

Vehicle access to the subject property is proposed on N 3rd St. and N 4th St. The proposal includes 83 parking stalls, 14 bus loading spaces, and 14 covered bicycle parking spaces. Additional improvements proposed by the applicant include a 35,000 square foot grass field, various soft and hard surface play areas, 4,400 square foot covered play area, public plaza, landscaping, street frontage improvements, and drainage infrastructure.

The Planned Urban Development application requests to vary setback, impervious surface coverage, height, parking, landscaping, refuse/recycling, and street standards. The applicant has proposed public benefits including a public plaza, large play field and other programmed play areas, and enhanced landscaping.

The applicant has submitted the following technical reports with the application: drainage report, geotechnical report; arborist report; and traffic study.

**PROJECT LOCATION:** 315 Garden Ave N

**PERMITS/REVIEW REQUESTED:** Conditional Use- HE, Preliminary PUD

**APPLICANT/PROJECT CONTACT PERSON:** Lisa Klein, AHB, 2215 N 30th St, #200, Tacoma, WA 98403/ 253-383-2422/ lklein@ahb.com

**PUBLIC HEARING:** Public hearing is tentatively scheduled for November 8, 2016 before the Renton Hearing Examiner at 11:00 am, in Renton Council Chambers on the 7th floor of Renton City Hall.

Comments on the above application must be submitted in writing to Matthew Herrera, Senior Planner, Department of Community & Economic Development, 1055 South Grady Way, Renton, WA 98057, by 5:00 p.m. on September 28, 2016. This matter is also tentatively scheduled for a public hearing on November 8, 2016, at 11:00 am, Council Chambers, Seventh Floor, Renton City Hall, 1055 South Grady Way, Renton. If you are interested in attending the hearing, please contact the Planning Division to ensure that the hearing has not been rescheduled at (425) 430-6578. If comments cannot be submitted in writing by the date indicated above, you may still appear at the hearing and present your comments on the proposal before the Hearing Examiner. If you have questions about this proposal, or wish to be made a party of record and receive additional information by mail, please contact the Project Manager, Matthew Herrera at (425) 430-6583. Anyone who submits written comments will automatically become a party of record and will be notified of any decision on this project.

If you would like to be made a party of record to receive further information on this proposed project, complete this form and return to: City of Renton, CED, Planning Division, 1055 South Grady Way, Renton, WA 98057.

File Name / No.: New Sartori Elementary School / LU16-00082, CU-H, PUD

NAME:

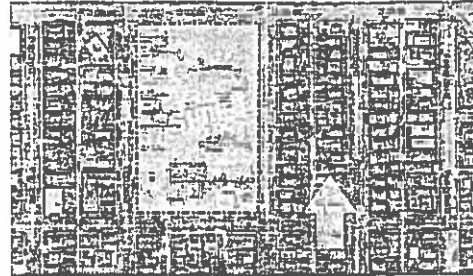
MAILING ADDRESS: CITY/STATE/ZIP:

TELEPHONE NO.:

PLEASE INCLUDE THE PROJECT NUMBER WHEN CALLING FOR PROPER FILE IDENTIFICATION

DATE OF APPLICATION: SEPTEMBER 2, 2016

NOTICE OF COMPLETE APPLICATION: SEPTEMBER 14, 2016



If you would like to be made a party of record to receive further information on this proposed project, complete this form and return to: City of Renton, CED, Planning Division, 1055 South Grady Way, Renton, WA 98057.

File Name / No.: New Sartori Elementary School / LU16-00082, CU-H, PUD

NAME:

MAILING ADDRESS: CITY/STATE/ZIP:

TELEPHONE NO.:

## CERTIFICATION

I, Matthew Herrera, hereby certify that 1 copies of the above document were posted in 1 conspicuous places or nearby the described property on

Date: 9/14/2016

Signed: [Signature]

STATE OF WASHINGTON )

) SS

COUNTY OF KING )

I certify that I know or have satisfactory evidence that Matthew Herrera signed this instrument and acknowledged it to be his/her/their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: September 14, 2016

Holly Powers  
Notary Public in and for the State of Washington

Notary (Print):

My appointment expires:

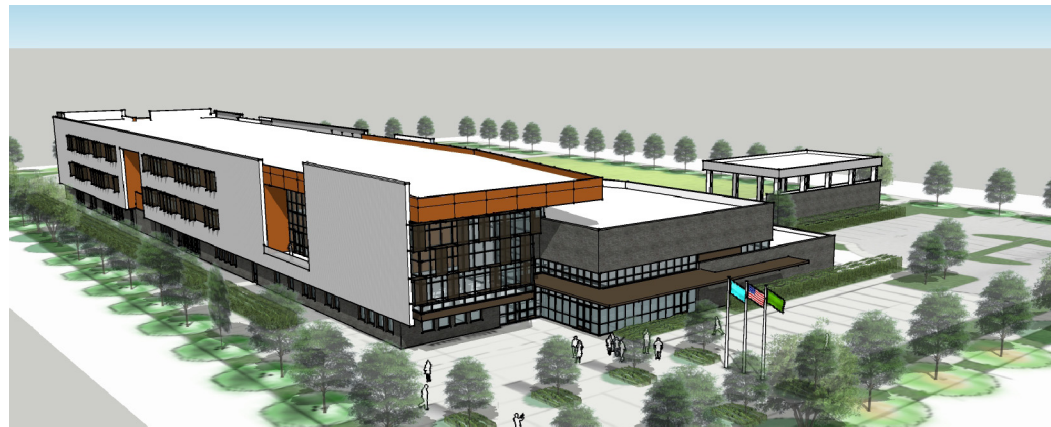
Holly Powers

August 29, 2017

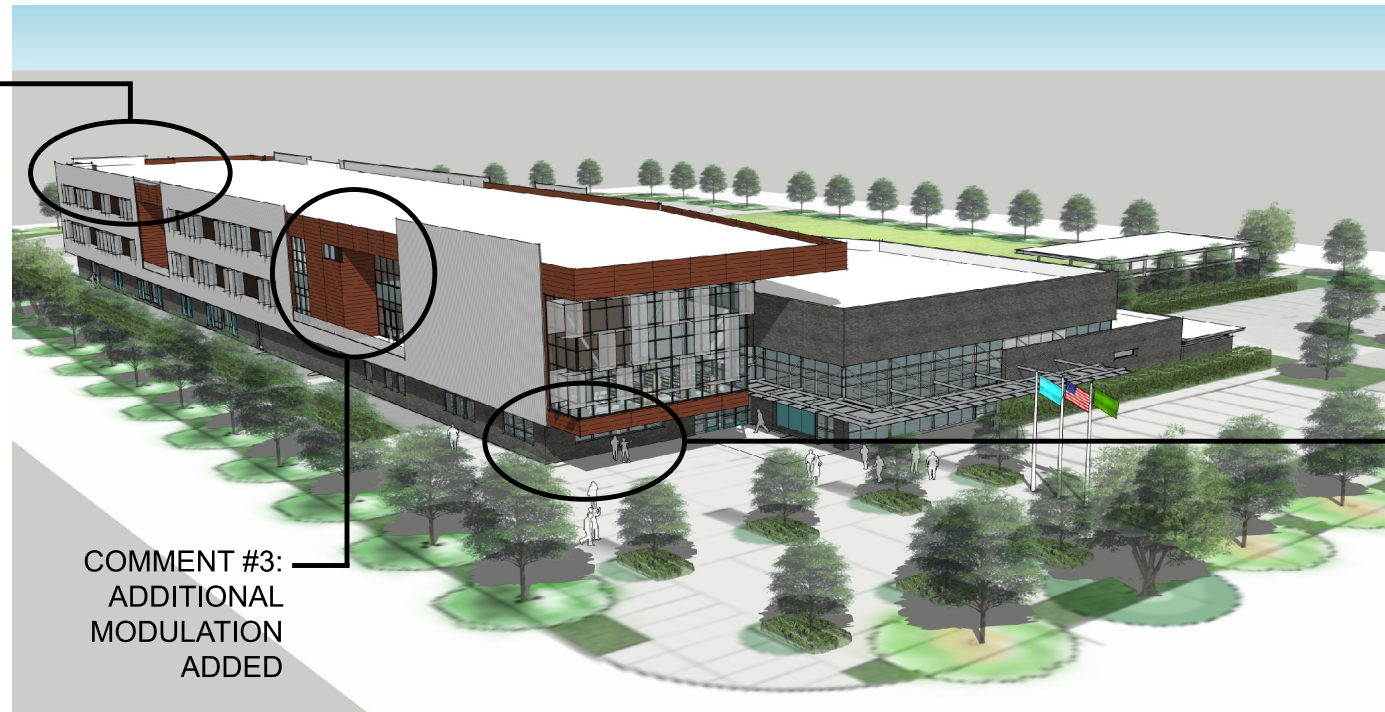




COMMENT #5: ADDITIONAL  
ROOF MODULATION ADDED



BIRDSEYE VIEW FROM SOUTHWEST - 8/24/16



BIRDSEYE VIEW FROM SOUTHWEST - 10/21/16

COMMENT #1: SOFFIT/  
OVERHANG HEIGHT  
ADJUSTED TO 10'-8" AT  
SOUTH SIDE OF PARK AVE.  
FACADE

COMMENT #3:  
ADDITIONAL  
MODULATION  
ADDED



VIEW FROM VISITOR PARKING - 8/24/16



VIEW FROM VISITOR PARKING - 10/21/16

  
Entire Document  
Available Upon  
Request

Exhibit  
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